

HATFIELD BOROUGH PLANNING COMMISSION

AUGUST 17, 2026



KENNETH V. FARRALL, CHAIR

LARRY BURNS, VICE CHAIR

JOHN KROESSER, MEMBER

MICHELLE WEISS, MEMBER

LAWRENCE G. STEVENS, MEMBER

JAIME E. SNYDER, BOROUGH MANAGER



Borough of Hatfield

Montgomery County, Pennsylvania

PLANNING COMMISSION

August 17, 2026 6:00PM

AGENDA

Call to Order / Roll Call

Kenneth Farrall	Larry Burns	John Kroesser
Lawrence Stevens	Michelle Weiss	

1. Motion to Approve the August 17, 2026 Meeting Agenda
2. Motion to Approve the April 27, 2026 Meeting Minutes
3. Land Development Presentation: 200 N. Main Street, Laudenslager Senior Apartments

Action Item:

A. Motion to Consider Preliminary / Final Approval for
200 N. Main Street, Laudenslager Senior Apartments

4. Old Business:
 - A. Bennetts Court Update
 - B. 43 Roosevelt Update
 - C. Hatfield Walk (23 N. Main Street) Update

5. New Business:
6. Next Meeting Monday, September 28, 2026, 6:00PM
7. Motion to Adjourn

401 S. Main Street
P.O. Box 190
Hatfield, PA 19440

Phone:
215-855-0781

Fax:
215-855-2075

Email:
admin@
hatfieldborough.com

Website:
www.hatfieldborough.com

**2. Motion to Approve the
April 27, 2026
Meeting Minutes**

PLANNING COMMISSION

April 27, 2026 6:00PM

Meeting Minutes

This Meeting was Recorded

REORGANIZATION

NOMINATION AND ELECTION OF PLANNING COMMISSION CHAIR:

Manager Snyder informed the Planning Commission at this time they will recognize nominations for Chair of the Planning Commission

Motion:

A motion was made by Larry Burns to nominate Kenneth Farrall as the Planning Commission Chair. The nomination was seconded by Larry Stevens and unanimously approved with a vote of 5-0.

NOMINATION AND ELECTION OF PLANNING COMMISSION VICE CHAIR:

Kenneth Farrall informed the Planning Commission at this time they will recognize nominations for Vice Chair of the Planning Commission.

Motion:

A motion was by made Michelle Weiss to nominate Larry Burns as Vice Chair of the Planning Commission. The nomination was seconded by Larry Stevens and unanimously approved with a vote of 5-0.

ROLL CALL

(X) Kenneth V. Farrall, Chair
(X) Larry Burns, Vice Chair
(X) John Kroesser
(X) Lawrence G. Stevens
(X) Michelle Weiss

The record shows that five members of the Planning Commission were present along with Manager Jaime E. Snyder, Borough Engineer Chad Camburn and Assistant Manager Kathryn Vlahos.

1. APPROVAL OF THE AGENDA:

Motion to Approve the April 27, 2026 Planning Commission Meeting Agenda

Motion:

A motion was made by Michelle Weiss to Approve the April 27, 2026 Planning Commission Meeting Agenda. The motion was seconded by Larry Burns and unanimously approved with a vote of 5-0.

2. APPROVAL OF THE MINUTES:

Motion to Approve the Minutes of the February 24, 2025 Planning Commission Meeting

Motion: A motion was made by Larry Burns to Approve the February 24, 2025 Meeting Minutes. The motion was seconded by Michelle Weiss and unanimously approved with a vote of 5-0.

3. Core Commercial Text Amendment Application submitted by WB Homes Land Acquisitions L.P. (41 N. Market Street)

Chris Canavan, President of WB Homes who is the applicant for the proposed text amendment, and Will Brugger, Land Development Project Manager, were present at the meeting. Mr. Canavan explained that WB Homes is the equitable owner of 41 N. Market Street, located between the firehouse and the railroad parking lot, and is in the process of purchasing the property.

Mr. Canavan stated that, while reviewing and marking the property, discussions took place regarding accommodating parking spaces for the fire company, which the previous owner, Howard Heckler, had permitted the fire company to use. He explained that WB Homes is working to accommodate the fire company's parking needs while also developing an appropriate plan for the site.

Mr. Canavan presented a proposed zoning text amendment that would add residential use to the Core Commercial District to allow townhomes on a site with a minimum lot size of one acre. As part of the application, WB Homes provided an analysis of other properties within the Borough that could potentially qualify for townhome development if the proposed zoning amendment is adopted by Borough Council.

Mr. Canavan clarified that tonight he was there to present the proposed text amendment and that the plan provided to Council was a conceptual plan illustrating development that could potentially be permitted under the proposed text amendment. If the text amendment is adopted, the applicant would return to the Planning Commission for the formal subdivision and land development review process and would address comments and recommendations received during that process.

Mr. Canavan stated that they had received the comments regarding the proposed text amendment from the Borough Engineer and the Montgomery County Planning Commission and would consider those comments as the proposal moves forward. Councilmember Kenneth Farrall expressed concerns regarding parking, noting that the Borough already has parking concerns. Mr. Canavan explained that each proposed townhome would have two parking spaces in the driveway in addition to garage parking. He further stated that the plan provides for twenty parking spaces dedicated to the fire company, as well as an additional eight parking spaces for townhouse overflow.

Following review of the Borough Engineer's comments and the Montgomery County Planning Commission's comments regarding the proposed text amendment, Mr. Canavan stated that they will consider the comments as the proposal of the text amendment moves forward.

ACTION- Motion to Support or Oppose the Core Commercial Text Amendment Application submitted by WB Homes Land Acquisitions L.P. (41 N. Market Street)

Motion: A motion was made by Larry Burns to pass this along to council with the recommendation with approving the text amendment and have council strongly look at the parking in this area and the density of the units when they are looking at the whole big picture with the comments from the borough engineer and Montgomery County planning commission. The motion was seconded by Michelle Weiss and approved with a vote of 4-1.

4. Old Business:

A. Bennetts Court Update

Manager Snyder explained that the Borough Engineer is working with the developer to address stormwater comments that were issued last fall. The developer is working to make the necessary changes and will then submit the final as-built plans as they work toward closing out the project. At the end of the 18-month maintenance bond period, the Borough will need to determine whether it wants to install a three-way stop sign at the intersection.

B. 43 Roosevelt Avenue Update

Manager Snyder stated that the buildings are under roof and interior construction is underway. The developer is requesting electric escrow releases and will continue moving forward with completion of the project, with the intent to have the units sold or rented.

C. 200 North Main Street – Alliance Housing Development Update

Manager Snyder stated that the Borough has held meetings with Alliance Housing Development and that they received funding for remediation of the former school, including the removal of mold and other necessary work. What was previously identified as Phase 3 will now become Phase 1 of the building located next to the Biblical Seminary. Manager Snyder stated that their zoning relief has expired and that they will need to obtain an extension.

D. Hatfield Walk – 23 N. Main Street Update

Manager Snyder stated that site utilities have been installed and that the developer is looking to have some residents move into the units by June 1st.

5. New Business:

6. Next Meeting Monday, May 18, 2026, 6:00PM

7. Motion to Adjourn

Motion: A motion was made by John Kroesser to adjourn the April 27, 2026 Planning Commission Meeting. The Motion was seconded by Michelle Weiss and unanimously approved with a vote of 5-0. The meeting adjourned at 7:10 PM.

Respectfully Submitted,
Kathryn Vlahos
Assistant Manager

**3. Land Development
Presentation: 200 N. Main
Street, Laudenslager Senior
Apartments**



BOROUGH OF HATFIELD

401 South Main Street Hatfield, PA 19440

(Phone) 215-855-0781 Ext. 107 (Email) code@hatfieldborough.com

SUBDIVISION / LAND DEVELOPMENT APPLICATION

TYPE OF PLAN SUBMISSION:

- ☐ Preliminary Subdivision
☐ Final Subdivision
☒ Preliminary Land Development
☒ Final Land Development
☐ Sketch Plan

DATE RECEIVED: _____

RECEIVED BY: _____

PC MTG DATE: _____

BC MTG DATE: _____

FEES PAID: _____

PLAN TITLE: LAUDENSLAGER SENIOR APARTMENTS

PROPERTY LOCATION:

ADDRESS: 200 N. Main St

TAX PARCEL ID: 09-00-01228-00-5

BLOCK: N/A UNIT: N/A

OWNER:

NAME (AS ON DEED): LAUDENSLAGER CAMPUS BENEFIT LLC

PHONE: [REDACTED] EMAIL: [REDACTED]

ADDRESS: [REDACTED]

APPLICANT:

NAME: LAUDENSLAGER CAMPUS BENEFIT LLC

PHONE: [REDACTED] EMAIL: [REDACTED]

ADDRESS: [REDACTED]



BOROUGH OF HATFIELD

401 South Main Street Hatfield, PA 19440

(Phone) 215-855-0781 Ext. 107 (Email) code@hatfieldborough.com

SUBDIVISION / LAND DEVELOPMENT APPLICATION

PROPOSED DEVELOPMENT: LAUDENSLAGER SENIOR APARTMENTS

SIZE OF PARCEL(S): ±1.45 ACRES (+ ±3.23 IN TWP BOUNDARY = 4.68 ACRES TOTAL)

OF LOTS/UNITS PROPOSED: 1 LOT - 114 UNITS

ZONING DISTRICT: R-1 - RESIDENTIAL DISTRICT

NARRATIVE PROJECT DESCRIPTION: (SEE ATTACHED PLAN IS INSUFFICIENT)

Two (2) newly proposed age restricted (55+) structures, one (1) renovated existing structure for same use. associated parking, utility, and stormwater improvements to accommodate new site layout.

PLANS PREPARED BY (COMPANY): T&M ASSOCIATES

CONTACT NAME: JACOB TACKETT

PHONE: [REDACTED]

EMAIL: [REDACTED]

ADDRESS: [REDACTED]

ALL NEW SUBMISSIONS SHALL INCLUDE:

- 20 Copies of Application
- 20 Copies of Plan
- 20 Copies of Deed for all subject Properties
- 2 Electronic Copies of all documents provided
- Applicant Request for MCPC Review Application

ALL SUBMISSIONS MUST BE MADE TO HATFIELD BOROUGH CODES DEPARTMENT.

NO PLANS AT ANY TIME OF THE PROCESS WILL BE ACCEPTED WITHOUT FIRST BEING SUBMITTED IN THIS MANNER.

I hereby certify that the proposed application and subsequent actions or uses are authorized by the owner. As the owner or authorized representative, I agree to comply with all rules, regulations of Hatfield Borough and agree to be responsible for the payment of all engineering and legal fees associated with this application. I further authorize representatives of Hatfield Borough to enter the subject property in order to verify existing conditions I have examined this application, its requirements and to my knowledge and belief, it is a true, correct and complete application

LAUDENSLAGER CAMPUS BENEFIT LLC

Owner of Record

[Signature]
Owner Signature

5/12/2026

Date

LAUDENSLAGER CAMPUS BENEFIT LLC

Applicant Name

[Signature]
Applicant Signature

5/12/2026

Date

Relation to Owner: SAME ENTITY



BOROUGH OF HATFIELD

401 South Main Street Hatfield, PA 19440

(Phone) 215-855-0781 Ext. 107 (Email) code@hatfieldborough.com

SUBDIVISION / LAND DEVELOPMENT APPLICATION

Hatfield Borough

Waiver of Time Limitations

To: Hatfield Borough Planning & Zoning Officer
Hatfield Borough Manager
Hatfield Borough Council
Hatfield Borough Planning Commission
Hatfield Borough Solicitor

RE: Name of Subdivision/ Land Development LAUDENSLAGER SENIOR APARTMENTS

Address: 200 N. Main St, HATFIELD, PA 19440

WE/I LAUDENSLAGER CAMPUS BENEFIT LLC, the Applicant or the Applicant's attorney, do hereby waive the requirements of the Pennsylvania Municipalities Planning Code for a decision on our land development/subdivision application of a decision within 90 (ninety) days under Section 508 of the Pennsylvania Municipalities Planning Code. We understand that we may revoke this waiver by giving the Borough Manager and Solicitor 60 (sixty) days written notice of our intention to do so. I hereby certify that I am authorized to sign this waiver on behalf of the applicant.

LAUDENSLAGER CAMPUS BENEFIT LLC

Owner of Record


Owner Signature

5/12/2026

Date

LAUDENSLAGER CAMPUS BENEFIT LLC

Applicant Name


Applicant Signature

5/12/2026

Date

Relation to Owner: SAME ENTITY


Address


Telephone

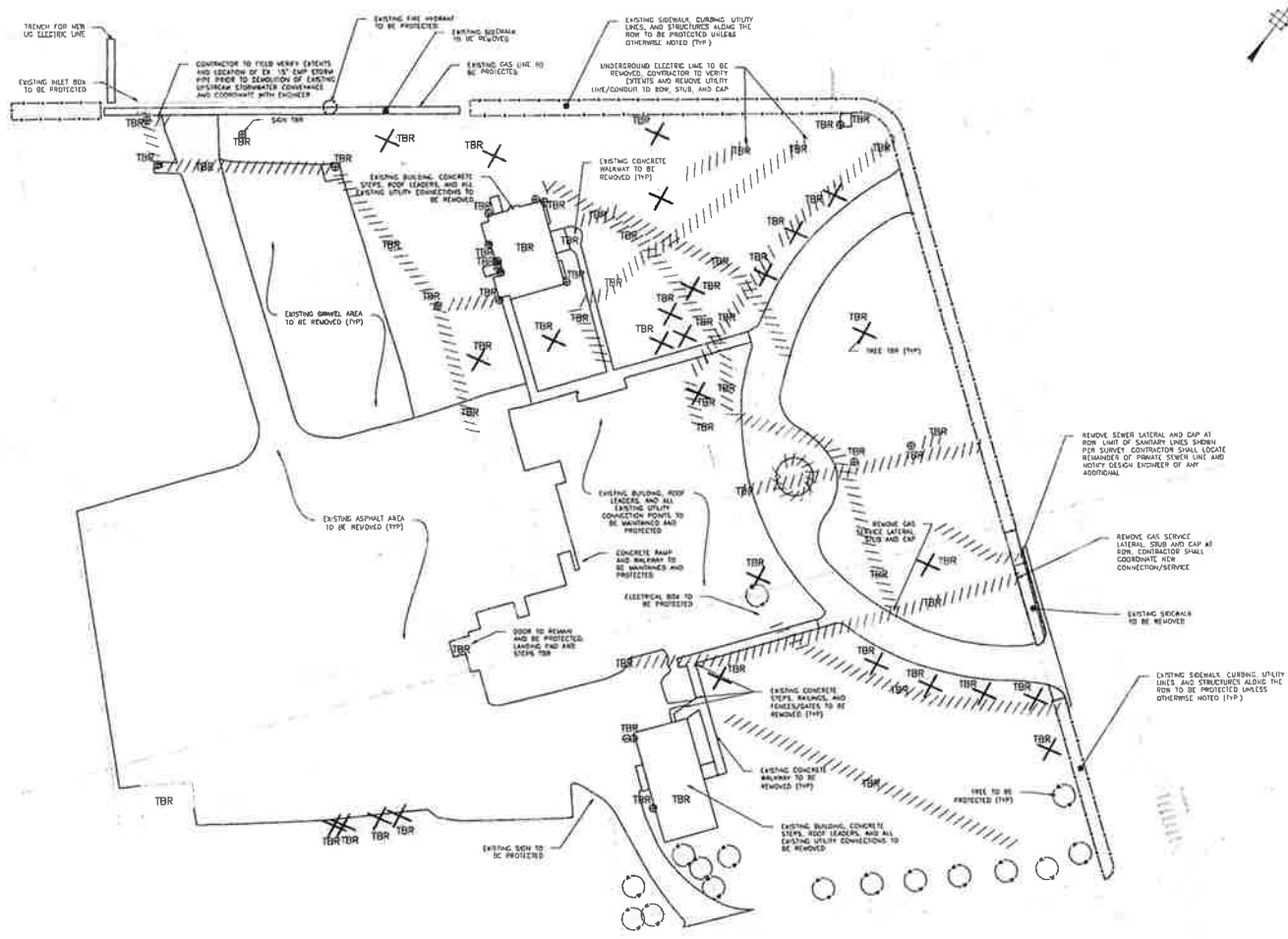

Email Address

HATFIELD TOWNSHIP & HATFIELD BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA

[illegible]

PROJECT INFORMATION: LAUDENSLAGER SENIOR APARTMENTS PHASE I
 1000 MARKET STREET, SUITE 800
 PLEASANTON, CA 94566
 PREPARED BY: J. J. JENSEN, INC.
 1000 MARKET STREET, SUITE 800
 PLEASANTON, CA 94566
 412394

CONTRACT NO. 2208, 1000 MARKET STREET, SUITE 800, PLEASANTON, CA 94566
 CONTRACTOR: J. J. JENSEN, INC.
 1000 MARKET STREET, SUITE 800, PLEASANTON, CA 94566
 412394



LEGEND

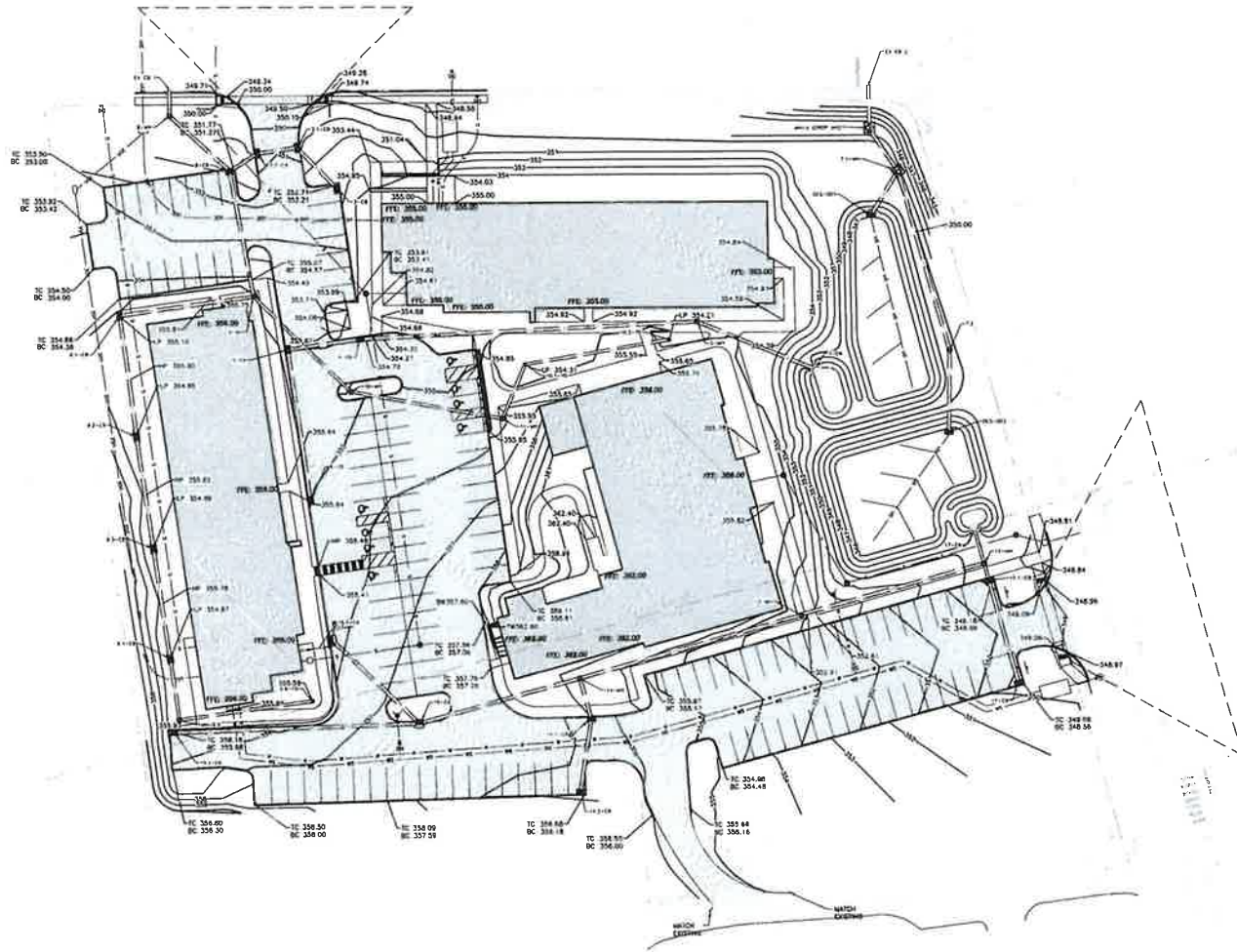
- REMOVE BUILDING HATCH
- REMOVE PAVEMENT HATCH
- REMOVE SITE UTILITY LINE
- X REMOVE TREE SYMBOL
- TBR REMOVE SITE FEATURE
- PROTECT SITE FEATURE LINE

0' 10' 20' 30' 40'

	
LAUDENSLAGER SENIOR APARTMENTS PHASE I DEMOLITION PLAN	
ELON AFFORDABLE HOUSING, LLC 1000 MARKET STREET, SUITE 800 PLEASANTON, CA 94566 412394	
AND YOUR GOALS. OUR MISSION. 1000 MARKET STREET, SUITE 800 PLEASANTON, CA 94566 TEL 510-281-7880 FAX 510-281-7880 WWW.JJJESEN.COM	
OFFICE LOCATION CALIFORNIA, MISSOURI, KENTUCKY MASSACHUSETTS, WISCONSIN, ILLINOIS OHIO AND PENNSYLVANIA	
DESIGNED BY: J. J. JENSEN, INC. CHECKED BY: J. J. JENSEN, INC. DRAWN BY: J. J. JENSEN, INC. DATE: 08/04/2008 SCALE: AS NOTED PROJECT NO.: 080100000	DEM 4 29

PROJECT INFORMATION
 2020 MARKET STREET SUITE 800
 PHILADELPHIA, PA 19103
 TEL 215 5481 7910
 WWW.MITCHELLANDMILLER.COM
 DATE 08/15/2020
 SCALE AS NOTED
 PROJECT NO. 190200001

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LEGEND

(PROPORTION & SEE SHEET 1902)

- 340 MAJOR CONTOUR
- 343 MINOR CONTOUR
- TC 353.91 CURB SPOT ELEVATION
- BC 353.41 SPOT ELEVATION
- 359.00



NO.	DATE	BY	CHKD.
1	08/15/2020	DM	DM
2	08/15/2020	DM	DM
3	08/15/2020	DM	DM
4	08/15/2020	DM	DM
5	08/15/2020	DM	DM
6	08/15/2020	DM	DM
7	08/15/2020	DM	DM
8	08/15/2020	DM	DM
9	08/15/2020	DM	DM
10	08/15/2020	DM	DM

ELON AFFORDABLE HOUSING, LLC
 2020 MARKET STREET SUITE 800
 PHILADELPHIA, PA 19103
 TEL 215 5481 7910
 WWW.MITCHELLANDMILLER.COM
 DATE 08/15/2020
 SCALE AS NOTED
 PROJECT NO. 190200001

GRADING PLAN

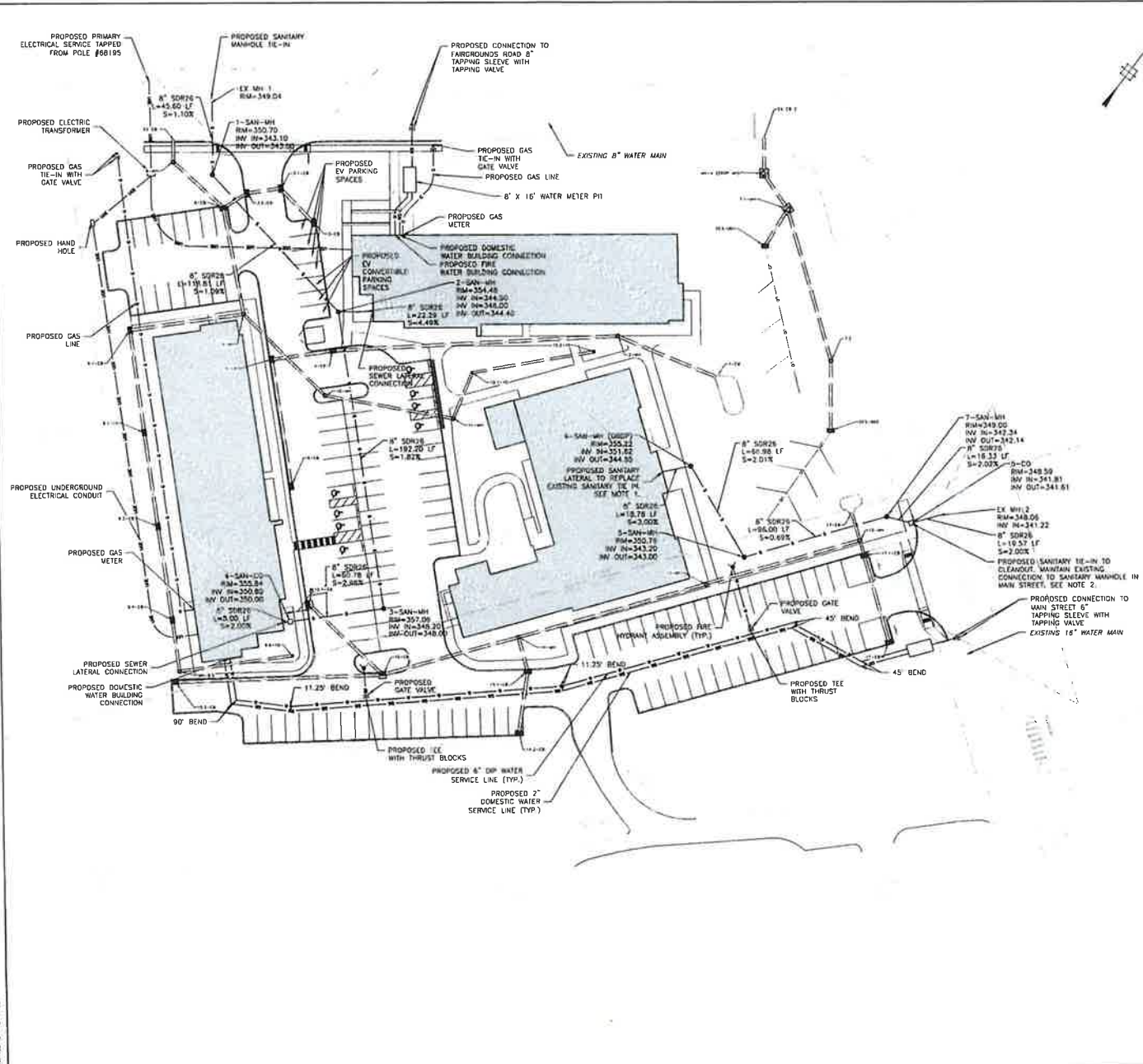


DESIGNED BY	CHECKED BY	DATE	SCALE	PROJECT NO.
DM	DM	08/15/2020	AS NOTED	190200001

GRD
 SHEET
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 OF 29

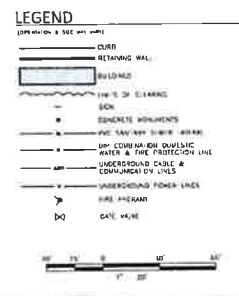
NOTES:
1. PRIOR TO PROCEEDMENT OF SANITARY LATERAL, MATERIALS CONTRACTOR SHALL LOCATE BUILDING DISCHARGE INVERT AND VERIFY DESIGN ENGINEER IF INVERT IS LOWER THAN 350.00 CONNECT TO SAN WH AND PROVIDE 2% SLOPE FROM BUILDING TO WH #.

NOTES:
2. PRIOR TO PROCEEDMENT OF SANITARY LATERAL, MATERIALS CONTRACTOR SHALL LOCATE BUILDING DISCHARGE INVERT AND VERIFY DESIGN ENGINEER IF INVERT IS HIGHER THAN 343.32.



NOTES:
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NOTES:
2. PRIOR TO PROCEEDMENT OF SANITARY LATERAL, MATERIALS CONTRACTOR SHALL LOCATE BUILDING DISCHARGE INVERT AND VERIFY DESIGN ENGINEER IF INVERT IS HIGHER THAN 343.32.



ELON AFFORDABLE HOUSING, LLC 20 NEW YORK DRIVE, CORT WASHINGTON, PA 15228 LAUDENSLAGER SENIOR APARTMENTS PHASE I 20 N. MAIN STREET, WATFELS, PA 15486 WATFELS TOWNSHIP AND WATFELS BOROUGH, MONTECALM COUNTY, PENNSYLVANIA	UTILITY PLAN
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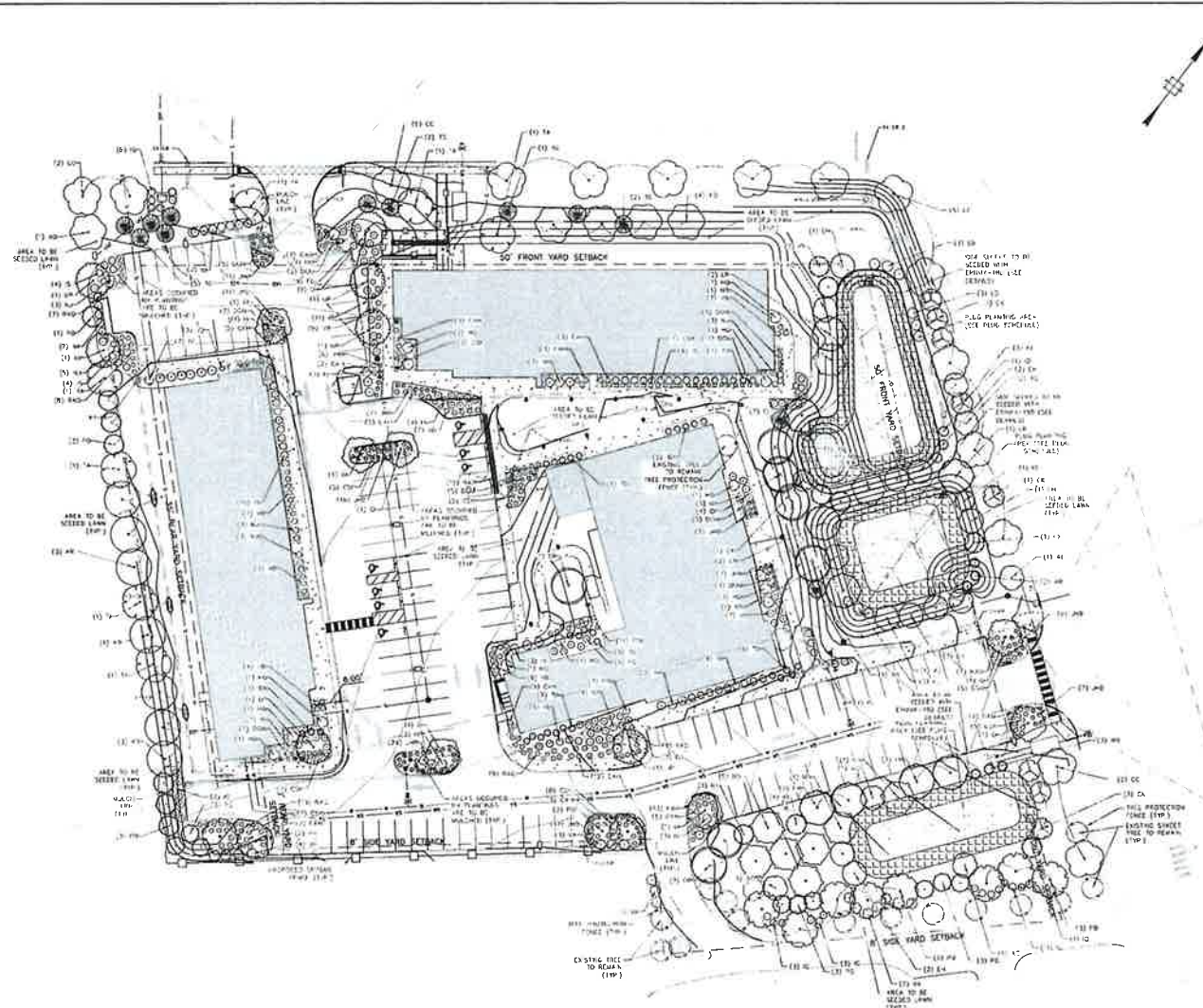
3000 MARKET STREET SUITE 200
PHILADELPHIA, PA 19104
TEL: 215.484.7800
FAX: 215.484.7801
WWW.ANDM.COM

DATE: 04/15/2024
SCALE: AS SHOWN
PROJECT: 24-00000000-0000-0000

DESIGNED BY: [Signature] CHECKED BY: [Signature] DRAWN BY: [Signature] DATE: 04/15/2024 SCALE: AS SHOWN PROJECT: 24-00000000-0000-0000	UTL 8 OF 29
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PROJECT INFORMATION
 PREPARED BY: LANDSCAPE ARCHITECTURE
 DATE: 10/15/2019
 DRAWN BY: J. J. JONES
 CHECKED BY: J. J. JONES
 SCALE: AS SHOWN

CONTRACTOR: J. J. JONES & ASSOCIATES, LLC
 1000 MARKET STREET, SUITE 200
 PHILADELPHIA, PA 19107
 (215) 555-1234
 www.jjjlandscape.com



GENERAL LANDSCAPE NOTES

- SEE DETAILS SHEET FOR PLANTING SCHEDULE. NOTES
 SPECIES, SEEDLING, CONFIRMANCE TABLES, AND PLANTING
 PLANS.
- ALL AREAS NOT OCCUPIED BY PLANTINGS SHALL BE
 SEEDLING LAWN.
- AREAS PLANTED WITH SHRUBS AND/OR GROUND COVER
 SHALL BE MULCHED.
- SET 2" DOG PLANT FOR FUTURE TREE REMOVAL AND
 PRESERVATION.
- THE PLANTING LOCATIONS SHOWN HEREON ARE
 APPROXIMATE AND IN THE EVENT OF OVERLAP WITH
 LIGHTING FIXTURES, SHRUBS SHALL BE SHIFTED IN THE
 FIELD TO AVOID CONTACT WITH LIGHT FIXTURES. TREES
 SHALL BE PLANTED NO CLOSER THAN 10'-11' FROM
 LIGHT POLES OR EXISTING/PROPOSED UNDERGROUND
 UTILITIES.

LANDSCAPE PLANTING NOTES AND SPECIFICATIONS

- ALL PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN STRICT CONFORMANCE WITH USDA STANDARDS FOR
 NURSERY STOCK AND THE "AMERICAN NURSERY AND LANDSCAPE ASSOCIATION" STANDARDS LATEST EDITION.
- THE CONTRACTOR SHALL VERIFY ALL UTILITIES WITH WORK AREA PRIOR TO COMMENCING ANY ANY EXCAVATIONS
 AND SHALL BE RESPONSIBLE FOR THEIR PROTECTION.
- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS AS SPECIFIED AND IN
 QUANTITIES INDICATED ON THE PLANT LIST. IF A DISCREPANCY SHOULD ARISE BETWEEN THE QUANTITY OF PLANTS SHOWN
 ON THE PLAN VS THE PLANT SCHEDULE, THE PLAN SHALL CONTROL.
- ALL PLANTS SHALL BE "NURSERY GROWN".
- ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- ALL PLANTS SHALL BE TYPICAL OF THE SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OR GROWTH
 THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED AND DENSELY LEAFED WHEN IN LEAF. THEY SHALL BE
 FREE OF DISEASE AND INSECT PESTS. TOLLS OF LARVAE, THEY SHALL HAVE HEALTHY WELL-DEVELOPED ROOT SYSTEMS.
- SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED CAL OR SIZE ARE NOT AVAILABLE WITH A REASONABLE DELAY,
 SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR IF APPROVED BY THE LANDSCAPE ARCHITECT OR
 HIS/HER REPRESENTATIVE.
- ALL AREAS TO BE SHOWN AS LAWN SHALL BE SEEDING, AS SPECIFIED, AND WATERED UNTIL A HEALTHY STAND OF
 GRASS IS ESTABLISHED.
- THREE LOCATIONS MAY NEED TO BE ADJUSTED BASED ON LOCATIONS OF UTILITIES, FIELD CONDITIONS, OR FINAL
 GRADING. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR THEIR REPRESENTATIVE IF ADJUSTMENTS ARE
 NECESSARY.
- ALL PLANTING SHALL BE TO RECEIVE 3" SHREDED HARDWOOD MULCH.
- ROOT BALLS OF ALL PLANTS SHALL BE PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR
 FROST.
- PLANTS WITH EXPOSED ROOT BALLS, BRUNK AND BARK DAMAGE OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE
 REPLACED PRIOR TO PLANTING.
- NOTES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/2 OF BRANCH. ALL NON-PROTECTORABLE MATERIAL
 SHALL BE TOTALLY REMOVED. TREE BARK SHALL BE CAREFULLY REMOVED ENTIRELY AT THE TIME OF PLANTING.
 PREFERABLY AFTER THE ROOT BALL HAS BEEN INSTALLED IN THE PLANTING PIT.
- PREPARATION OF PLANTING: CLEAN SOIL. EXCAVATED INTO PLANTING PIT. ROOTS, PLANTS, STEMMS (WHICH
 HAVE 2" CLAY COATINGS) AND OTHER LEAKAGEOUS MATERIALS REMOVED. SOIL TO BE PLANT GROWN.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY
 THE PROJECT LANDSCAPE ARCHITECT OR HIS/HER TOTAL.
- INSTALL ALL PLANTS SO THAT THE TOP OF THE ROOTBALL IS 2" ABOVE FINISHED GRADE. IN NO CASE SHALL
 THE PLANT BE INSTALLED WITH A LESS THAN THE SAME RELATIONSHIP TO FINISHED GRADE. AS THE PLANTS ORIGINAL
 ROOT CROWN EXCESS SOIL MAY EXIST AROUND THE ROOT CROWN FROM NURSERY OPERATIONS, THIS EXCESS MATERIAL
 SHALL BE REMOVED PRIOR TO PLANTING TO BE SAVED AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE PROTECTED
 LATE CONSTRUCTION HAS BEEN COMPLETED. AREA OF THE DRYING SHALL NOT BE TRAMPLED ACROSS BY CONSTRUCTION
 TRAFFIC. ROOTS SHALL NOT BE CUT AT ANY TIME. THE INTAKE OF ANY TREES TO REMAIN.
- TREES PLANTED ALONG SIDEWALKS SHALL HAVE A SINGLE STRAP. TRUNK THAT DOES NOT FORM BELOW 6".
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER SHOWN AS SPECIFIED. NO CONTAINER GROWN STOCK
 WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL NON-PROTECTORABLE ROOT WRAPPING MATERIAL SHALL BE REMOVED AT
 TIME OF PLANTING.
- WITH CONTAINER GROWN STOCK, THE CONTRACTOR SHALL BE REQUIRED AND THE CONTAINER BALL CUT THROUGH THE
 SURFACE IN TWO VERTICAL LOCATIONS MINIMUM.
- THE CONTRACTOR SHALL LAYOUT WITH STAKES INDIVIDUAL TREES, AND SHOWN LOCATIONS AND AXES
 FOR MULTIPLE PLANTING ALONG WITH THE ARRANGEMENTS AND OUTLINE OF PLANTING BEDS AS INDICATED ON DRAWING.
 THE LAYOUT OF PLANTING WILL THEN BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION OF PLANT
 PITS OR PLANT BEDS.
- AT PLANTING TIME, ALL PLANT MATERIAL SHALL BE REQUIRED TO REMOVE EXISTING AND/OR DEAD VEGETATIVE MATERIAL
 APPLICABLE.
- ALL PLANTS SHALL BE INSTALLED PLUMB UNLESS OTHERWISE SPECIFIED.
- ALL PLANTS SHALL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL
 PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
- CONDITIONS OF PLANTING: NO PLANTS. THE CONTRACTOR SHALL SUPPLY THE PROJECT REPRESENTATIVE WITH THE WRITING
 OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS.
 HE SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS INCLUDING ANY CHANGE IN
 COST FOR REVIEW AND ACCEPTANCE BY THE PROJECT REPRESENTATIVE.
- MINIMUM NOTES AND SHORES FOR A MINIMUM PERIOD OF 10 WORKING AFTER DATE OF WRITING FINAL ACCEPTANCE
 BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER. AUTHORIZED REPRESENTATIVE AGAINST DEFECTS INCLUDING DRYING
 AND UNSATISFACTORY GROWTH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT PLANTINGS
 DURING THE WARRANTY PERIOD AND NOTIFY THE OWNER IF PROBLEMS DEVELOP. PLANTS THAT DIE DURING THE
 WARRANTY PERIOD SHALL BE REPLACED IMMEDIATELY AND REPLACED.

TREE PROTECTION NOTES

- NO MORE THAN THREE (3) INCHES OF SOIL SHALL BE PLACED AROUND THE TRUNKS OF TREES WHICH ARE TO
 REMAIN FOR THOSE TREES WHICH ARE TO REMAIN, WHERE MORE THAN THREE (3) INCHES OF SOIL ARE TO BE
 PLACED, THE WELLS SHALL BE CONSTRUCTED TO PROTECT THEM.
- TREES TO REMAIN SHALL BE PROTECTED BY WOODEN SLAT SHOWN FENCING OR ORANGE SAFETY CONSTRUCTION
 FENCING, PLACED AT THE 1" OF THE CRITICAL ROOT ZONE OF THE TREE. THE LINE OF SUCH TREES, AS SHOWN IN
 THE TREE PROTECTION DETAIL.
- NO BOARDS OR OTHER MATERIAL SHALL BE NAILLED TO TREES DURING CONSTRUCTION, AND NO TREES TO REMAIN
 SHALL BE DAMAGED WITH PLANT.
- HEAVY EQUIPMENT OPERATIONS SHALL AVOID DAMAGING EXISTING TREE TRUNKS AND ROOTS. TRUNKS AND ROOTS OF
 TREES TO BE PRESERVED SHALL NOT BE CUT CLOSER THAN THE LIMIT OF THE CRITICAL ROOT ZONE (1 PER 1"
 DBH).
- TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING CONSTRUCTION SHALL BE PROTECTED FROM FURTHER DAMAGE
 BY BLUE-PANDED LISTS, AND IF TRUNKS ARE SCARRED THEY SHALL BE TREATED WITH 10% PHOSPHORIC ACID.
- TREE LIMBS DAMAGED DURING CONSTRUCTION SHALL BE SAVED FLUSH TO TREE TRUNKS AND TREATED WITH TREE
 PAINTS AS NECESSARY.
- THE OPERATION OF HEAVY EQUIPMENT OVER POOL SYSTEMS OF SUCH TREES SHALL BE MINIMIZED IN ORDER TO
 PREVENT SOIL COMPACTION.
- DECIDUOUS TREES SHALL NOT BE GIVEN A HEAVY APPLICATION OF FERTILIZER TO AID IN THEIR RECOVERY FROM
 POSSIBLE DAMAGE CAUSED BY CONSTRUCTION OPERATION.
- CONSTRUCTION DEBRIS SHALL NOT BE DISPOSED OF NEAR OR AROUND THE BASES OF SUCH TREES.



ELON AFFORDABLE HOUSING, LLC
 200 MARKET STREET, SUITE 200
 PHILADELPHIA, PA 19107
 (215) 555-1234
 www.elonaffordablehousing.com

LAUDENSLAGER SENIOR APARTMENTS PHASE 1
 1000 MARKET STREET, SUITE 200
 PHILADELPHIA, PA 19107
 (215) 555-1234
 www.laudenslager.com

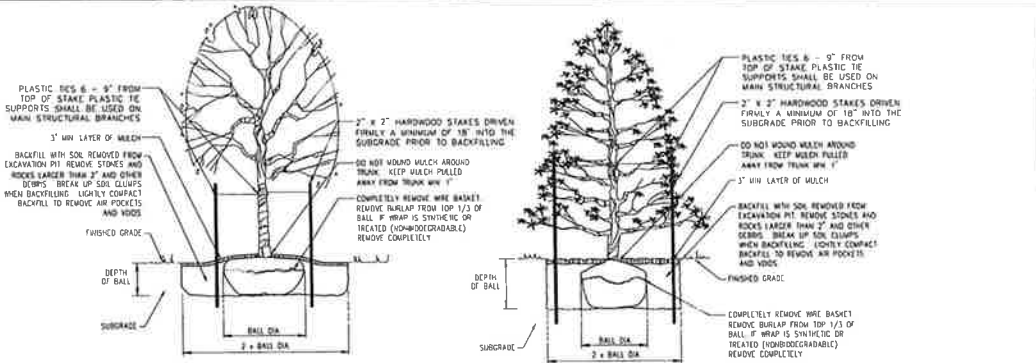
J. J. JONES & ASSOCIATES, LLC
 1000 MARKET STREET, SUITE 200
 PHILADELPHIA, PA 19107
 (215) 555-1234
 www.jjjlandscape.com

DATE: 10/15/2019
 DRAWN BY: J. J. JONES
 CHECKED BY: J. J. JONES
 SCALE: AS SHOWN

LANDSCAPE PLAN
 SHEET 9 OF 29

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER	HEIGHT
BASIN TREES							
	IO	9	ILEX OPACA	AMERICAN HOLLY	B & B		4'-5' HT
	ET	9	TSUGA CANADENSIS	EASTERN HEMLOCK	B & B		4'-5' HT
BASIN SHADE TREES							
	LR	9	LIQUIDAMBAR STYRACIFLUA 'ROUNDLOBE' TM	ROUND-LOBED SHEET OUM	B & B	1'-1 1/2"	
	NS	9	NYSSA SYLVATICA	BLACK OUM	B & B	1'-1 1/2"	
BUFFER EVERGREEN TREES							
	PC	9	PICEA CANADENSIS	WHITE SPRUCE	B & B		5'-10'
BUFFER SHADE TREES							
	PB	12	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	B & B	2'-2 1/2"	
BUILDING AREA DECIDUOUS TREES							
	AD	5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	B & B	1 1/2"-2"	
BUILDING AREA EVERGREEN TREES							
	SG	12	THUJA STANDISHII X PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	B & B		4'-5' HT
LAND AREA DECIDUOUS TREES							
	AR	7	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME MAPLE	B & B	1 1/2"-2"	
LAND AREA EVERGREEN TREES							
	PD	7	PICEA CANADENSIS	SERBIAN SPRUCE	B & B		6'-7'
PHINDO AREA TREES							
	GT	7	GLEDTISIA THURACANTHUS INERMIS	THORNLESS HONEY LOCUST	B & B	2'-2 1/2"	
	UP	2	ULMUS AMERICANA 'PRINCION'	AMERICAN ELM	B & B	2'-2 1/2"	
REPLACEMENT TREES							
	OP	3	QUERCUS PHELLOS	WILLOW OAK	B & B	1 1/2"-2"	
	TA	3	TILIA AMERICANA	AMERICAN LINDEN	B & B	1 1/2"-2"	
STREET TREES							
	CC	15	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	B & B	2'-2 1/2"	
BASIN FLOWERING TREES							
	AC	9	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	B & B	1'-1 1/2"	
	CK	9	CORNUS KOUSA	KOUSA DOGWOOD	B & B	1'-1 1/2"	
SYMBOL CODE QTY BOTANICAL NAME COMMON NAME CONT							
	WB	6	ILEX VERTICILLATA	WINTERBERRY	#7		24"-30"
	KL	6	KALMIA LATIFOLIA	MOUNTAIN LAUREL	#7		24"-30"
	LB	6	LIGUSTRUM BENZOIN	SPICEBUSH	#5		24"-30"
BUFFER SHRUBS							
	IG	17	ILEX GLABRA 'SHAMROCK'	INKBERRY	#7		24"-30"
	VA	17	VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY'	LEATHERLEAF VIBURNUM	#7	PO1	30"-36"
BUILDING AREA DECIDUOUS SHRUBS							
	CA	17	CEANOTHUS AMERICANUS	NEW JERSEY TEA	#5		24"-30"
	CAH	55	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSHET (SHAW)	#5		24"-30"
	CSK	67	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED TWIG DOGWOOD	#3		18"-24"
	DN	52	NIKKO DEUTZIA	DWARF DEUTZIA	#3		18"-24"
	FG	30	FOTHERGILLA GARDENII 'SUZANNE'	DWARF FOTHERGILLA	#5		18"-24"
	IV	29	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPHIRE	#5		18"-24"
	VB	45	VACCINIUM ANGUSTIFOLIUM 'BRUNSWICK'	LOWBUSH BLUEBERRY	#3		18"-24"
BUILDING AREA EVERGREEN SHRUBS							
	IC	46	ILEX CRENATA 'GREEN LUSTRE'	GREEN LUSTRE JAPANESE HOLLY	#5		18"-24"
	IG	61	ILEX GLABRA 'SHAMROCK'	INKBERRY	#7		24"-30"
	TD	37	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	#5		18"-24"
SHOULDER/COVER SHRUBS							
	JH	127	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JARRIER	2 GAL		12"-15"
	RA	93	RHUS AROMATICA 'GRO-LOW'	'GRO-LOW' FRAGRANT SUMAC	2 GAL		12"-18"
LAND AREA DECIDUOUS SHRUBS							
	HO	14	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN DAKLAF HYDRANGEA	#5		24"-30"
LAND AREA EVERGREEN SHRUBS							
	IM	14	ILEX X MESERVEAE 'CHINA ORN' TM	CHINA ORN HOLLY	#5		18"-24"

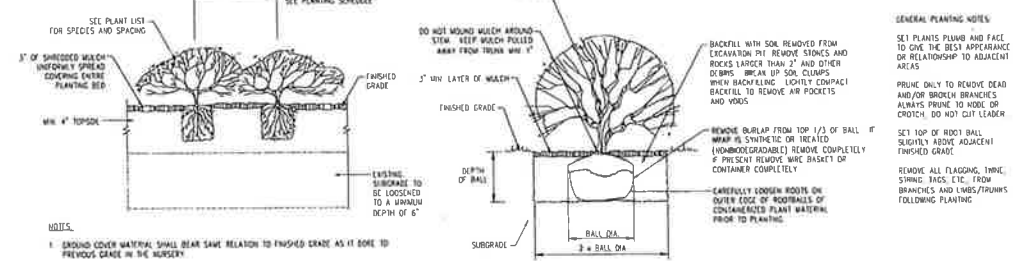


DECIDUOUS TREE PLANTING

NOT TO SCALE

EVERGREEN TREE PLANTING

NOT TO SCALE

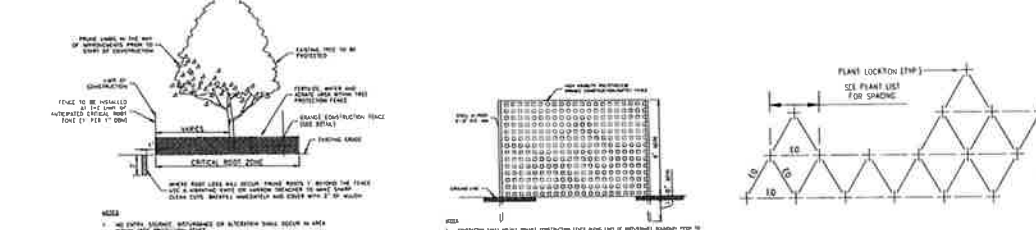


PLUG AND PERENNIAL PLANTING

NOT TO SCALE

SHRUB PLANTING

NOT TO SCALE



TREE PROTECTION AND PRUNING

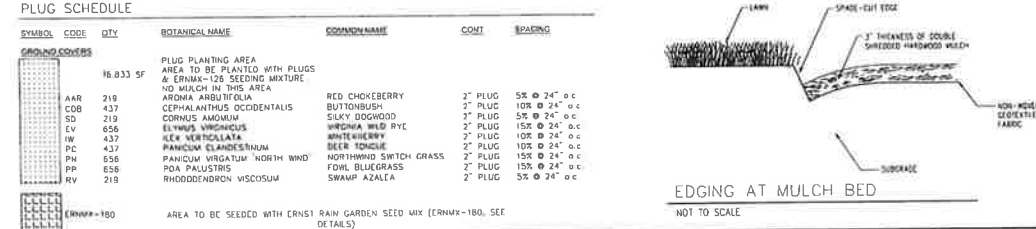
NOT TO SCALE

TREE PROTECTION FENCE

NOT TO SCALE

PLANT SPACING DIAGRAM

NOT TO SCALE



AREA TO BE SEED WITH ERV15 RAIN GARDEN SEED MIX (ERV15-180, SEE DETAILS)

LAUDENSLAGER SENIOR APARTMENTS PHASE I

1000 MARKET STREET SUITE 800
PHILADELPHIA, PA 19107
TEL 215-245-7435
FAX 215-245-7436

DESIGNED BY
ECONOMY DESIGN LLC
1000 MARKET STREET SUITE 800
PHILADELPHIA, PA 19107
TEL 215-245-7435
FAX 215-245-7436

CONSTRUCTED BY
LAUDENSLAGER SENIOR APARTMENTS
1000 MARKET STREET SUITE 800
PHILADELPHIA, PA 19107
TEL 215-245-7435
FAX 215-245-7436

DATE: 08/08/2019
DRAWN: J. J. JONES
CHECK: J. J. JONES
PROJECT NO: 1000000000

SHEET
10
OF 29

Landscape Requirements - Hatfield Township (Overall)

No.	Section	Requirement	Proposed	Waiver
1	\$250-36 A	Buffer Requirements 20' wide landscape buffer between multi-family and single family residential uses (5) three shade trees, five evergreen trees, and 10 shrubs per 100 lineal feet of property boundary for every 20 feet of buffer width	Minimum 20' wide landscape buffer 268 LF of buffer length to be provided with screening fence due to limited available planting space 332 LF of remaining buffer length to be planted per \$250-38 A 8 existing shade trees to remain 12 shade trees proposed 5 existing evergreen trees to remain 9 evergreen trees proposed 34 shrubs proposed	YES
2	\$250-38 B	Street trees Street trees shall be planted at a maximum of 50 feet on center	230 LF along Cowpath Road 230' 50" = 4' 6" 5 street trees 474 LF along Fairgrounds Road 392 LF (less 82' of access drive) 50' = 7' 84" 8 street trees	NO
3	\$250-38 C(2)	Minimum Planting Guidelines Per 2,000SF of gross building area: 2 Deciduous trees 2 Deciduous shrubs 2 Evergreen trees 2 Evergreen shrubs Per 20,000SF of net land area: 1 Deciduous trees 2 Deciduous shrubs 2 Evergreen trees 2 Evergreen shrubs	Building Area Plantings 6 Deciduous trees plus 160 deciduous shrubs counting as 32 deciduous trees (38 total) 76 Deciduous shrubs 12 Evergreen trees plus 65 evergreen shrubs counting as 20 evergreen trees (38 total) 76 Evergreen shrubs Net Land Area Plantings 7 Deciduous trees 14 Deciduous shrubs 7 Evergreen trees 14 Evergreen shrubs	NO
4	\$250-38 C(3)	Retention/Detention Basin landscaping One shade tree, one flowering tree, one evergreen tree, and one shrub for every 40 lineal feet of basin perimeter	220 LF of basin perimeter 40 = 18 18 shade trees 18 flowering trees 18 evergreen trees 18 shrubs	NO
5	\$250-38 E	Tree Replacement Any removal of a tree measuring 8" DBH or greater to be replaced with a new tree of like kind with a diameter of 1.5"	14 healthy trees 8" DBH or greater to be removed 14 replacement trees	NO
6	\$250-40 Q(1)	Parking Lot Landscaping One shade tree for every 10 spaces. Trees to be placed within landscaped islands at min. of 200SF in area	131 parking spaces 10 = 13.1 = 14 14 shade trees	NO

Landscape Requirements - Hatfield Borough (Overall)

No.	Section	Requirement	Proposed	Waiver
1	\$22-420 B(1)	Street trees Street tree spacing shall be not less than the minimums listed in §22-421.1 A and B, more than twice the minimum on 50 feet, whichever is longer	268 LF along N Main Street 134 LF (less 74' of access drive) 134' 50" = 2' 68" 3 street trees	NO
2	\$22-420 C(2)	Buffer area shall be planted with shade trees selected from lists in §22-421.1 A and B, planted at a ratio of at least two trees for each 100 feet of property line or fraction thereof Hatfield Twp requirements are more intensive and shall be used to meet the requirement (see Twp requirements table)	Minimum 20' wide landscape buffer 268 LF of buffer length to be provided with screening fence due to limited available planting space 332 LF of remaining buffer length to be planted per §250-38 A 8 existing shade trees to remain 12 shade trees proposed 5 existing evergreen trees to remain 9 evergreen trees proposed 34 shrubs proposed	NO
3	\$22-414 F(1)	Parking Lot Planting One shade tree for every 10 spaces	131 parking spaces 10 = 13.1 = 14 14 shade trees	NO

Landscape Requirements - Hatfield Township (Phase 1)

No.	Section	Requirement	Proposed	Waiver
1	\$250-36 A	Buffer Requirements 20' wide landscape buffer between multi-family and single family residential uses (5) three shade trees, five evergreen trees, and 10 shrubs per 100 lineal feet of property boundary for every 20 feet of buffer width	Minimum 20' wide landscape buffer 268 LF of buffer length to be provided with screening fence due to limited available planting space 332 LF of remaining buffer length to be planted per §250-38 A 8 existing shade trees to remain 12 shade trees proposed 5 existing evergreen trees to remain 9 evergreen trees proposed 34 shrubs proposed	YES
2	\$250-38 B	Street trees Street trees shall be planted at a maximum of 50 feet on center	230 LF along Cowpath Road 230' 50" = 4' 6" 5 street trees 474 LF along Fairgrounds Road 392 LF (less 82' of access drive) 50' = 7' 84" 8 street trees	NO
3	\$250-38 C(2)	Minimum Planting Guidelines Per 2,000SF of gross building area: 2 Deciduous trees 2 Deciduous shrubs 2 Evergreen trees 2 Evergreen shrubs Per 20,000SF of net land area: 1 Deciduous trees 2 Deciduous shrubs 2 Evergreen trees 2 Evergreen shrubs	Building Area Plantings 6 Deciduous trees plus 160 deciduous shrubs counting as 32 deciduous trees (38 total) 76 Deciduous shrubs 12 Evergreen trees plus 65 evergreen shrubs counting as 20 evergreen trees (38 total) 76 Evergreen shrubs Net Land Area Plantings 7 Deciduous trees 14 Deciduous shrubs 7 Evergreen trees 14 Evergreen shrubs	NO
4	\$250-38 C(3)	Retention/Detention Basin landscaping One shade tree, one flowering tree, one evergreen tree, and one shrub for every 40 lineal feet of basin perimeter	220 LF of basin perimeter 40 = 7 7 shade trees 7 flowering trees 7 evergreen trees 7 shrubs	NO
5	\$250-38 E	Tree Replacement Any removal of a tree measuring 8" DBH or greater to be replaced with a new tree of like kind with a diameter of 1.5"	14 healthy trees 8" DBH or greater to be removed 14 replacement trees	NO
6	\$250-40 Q(1)	Parking Lot Landscaping One shade tree for every 10 spaces. Trees to be placed within landscaped islands at min. of 200SF in area	48 parking spaces 10 = 4.8 = 5 5 shade trees	NO

Landscape Requirements - Hatfield Borough (Phase 1)

No.	Section	Requirement	Proposed	Waiver
1	\$22-420 B(1)	Street trees Street tree spacing shall be not less than the minimums listed in §22-421.1 A and B, more than twice the minimum on 50 feet, whichever is longer	268 LF along N Main Street 134 LF (less 74' of access drive) 134' 50" = 2' 68" 3 street trees	NO
2	\$22-420 C(2)	Buffer area shall be planted with shade trees selected from lists in §22-421.1 A and B, planted at a ratio of at least two trees for each 100 feet of property line or fraction thereof Hatfield Twp requirements are more intensive and shall be used to meet the requirement (see Twp requirements table)	Minimum 20' wide landscape buffer 268 LF of buffer length to be provided with screening fence due to limited available planting space 332 LF of remaining buffer length to be planted per §250-38 A 8 existing shade trees to remain 12 shade trees proposed 5 existing evergreen trees to remain 9 evergreen trees proposed 34 shrubs proposed	NO
3	\$22-414 F(1)	Parking Lot Planting One shade tree for every 10 spaces	48 parking spaces 10 = 4.8 = 5 5 shade trees	NO

Equivalent Quantity

1	1
2	2
3	3
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5	5
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50	50

Landscape Equivalencies Chart

Size	Type
12" x 12" x 12"	Shade tree
12" x 12" x 12"	Deciduous shrub
12" x 12" x 12"	Evergreen shrub
12" x 12" x 12"	Shrub
12" x 12" x 12"	2 year sapling

NOTE:

Two year sapling equivalencies are to §250-38C(4). For Hatfield Township, one evergreen only.

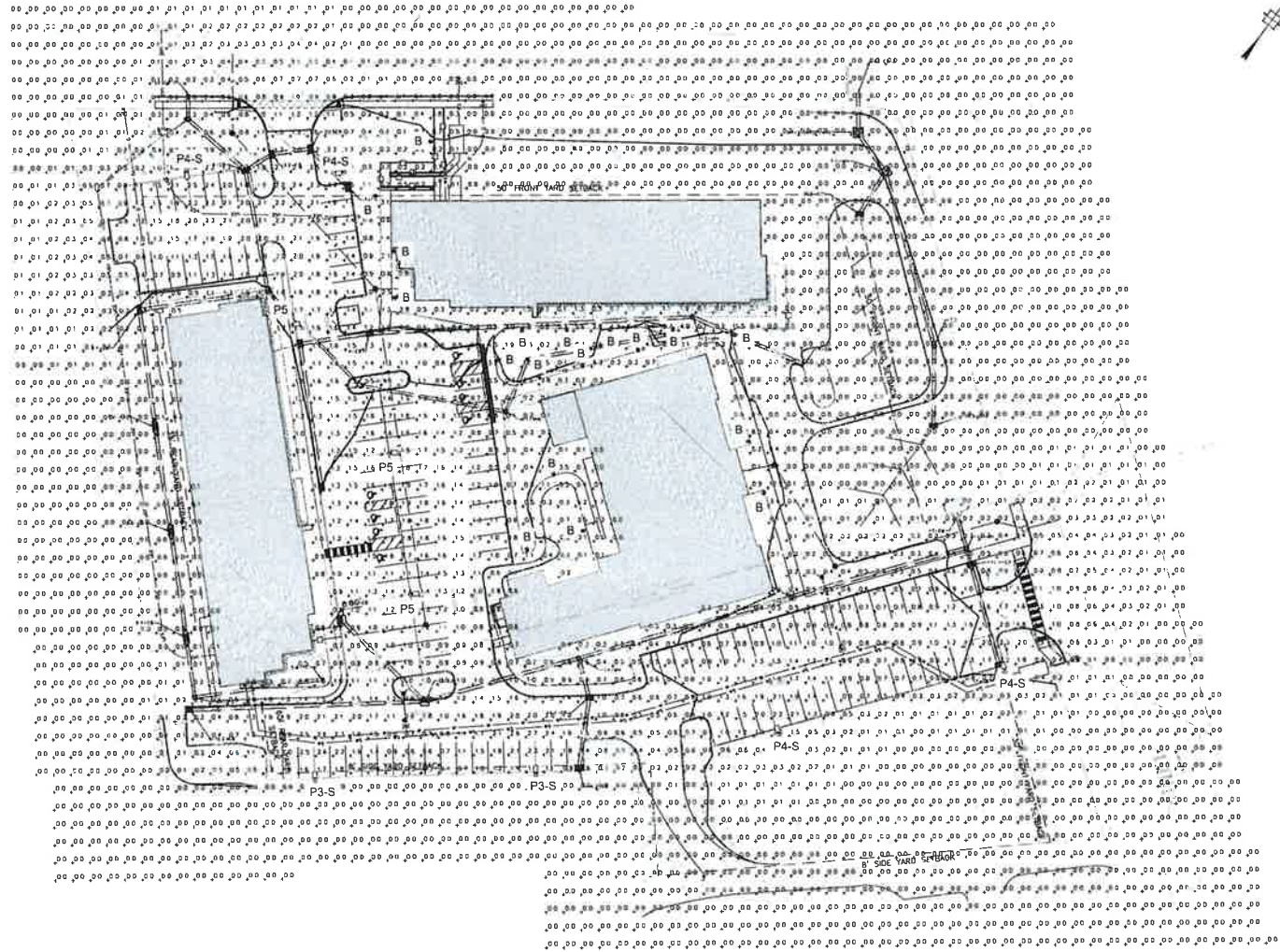


NO.	SECTION	REQUIREMENT	PROPOSED	WAIVER
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ELON AFFORDABLE HOUSING, LLC
2000 MARKET STREET, SUITE 400
PHILADELPHIA, PA 19103
TEL: 215-581-7852
JAN 13/2018
LAUDENSLAGER SENIOR APARTMENTS PHASE I
200 N. MAIN STREET, SUITE 100
HATFIELD TOWNSHIP, PA 19024
LAUDENSLAGER SENIOR APARTMENTS PHASE I



DESIGNED BY	ELN INC.	DRAWN BY	ELN INC.
CHECKED BY	ELN INC.	DATE	07/16/2018
SCALE	AS SHOWN	PROJECT NO.	11
SHEET NO.	29		



- GENERAL LIGHTING NOTES:**
1. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH THE EXISTING AND PROPOSED UTILITIES. SITE, DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.
 2. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR PROPER CONNECTIONS AND OPERATION.
 3. AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
 4. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
 5. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH TOWNSHIP REQUIREMENTS.
 6. SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
 7. SITE ELECTRICAL CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
 8. SITE ELECTRICAL CONTRACTOR SHALL CONFIRM THAT LIGHT FIXTURES MATCH SPECIFICATIONS ON THIS PLAN.
 9. SITE ELECTRICAL CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER IF UNSATISFACTORY CONDITIONS.



NO.	DATE	REVISION
1	12/15/2023	ISSUED FOR PERMIT

PROJECT INFORMATION: LAUDENSLAGER SENIOR APARTMENTS PHASE I
100 MARKET STREET SUITE 200
PHILADELPHIA, PA 19107
TEL: 215-242-7450
FAX: 215-242-7451
WWW.LAUDENSLAGER.COM
DATE: 12/15/2023
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
LAST SAVE: 12/15/2023

CONTRACTOR SHALL VERIFY ALL UTILITIES AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION AFTER COMPLETION OF WORK.

LUMINAIRE SCHEDULE

LABEL	QUANTITY	OUNTING	NOMINAL MOUNTING HEIGHT	DESCRIPTION
P3-S	2	SINGLE	25'-0" AFG (22' POLE)	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, ZERO UP-LIGHT, TYPE BLC3, EXTERNAL GLARE SHIELD
P4-S	4	SINGLE	25'-0" AFG (22' POLE)	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, ZERO UP-LIGHT, TYPE 4, HOUSESIDE SHIELD
P5	3	SINGLE	25'-0" AFG (22' POLE)	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, ZERO UP-LIGHT, TYPE 5
B	16	SINGLE	3'-6" AFG	LITHONIA LIGHTING, KBC8 LED BOLLARD, ZERO UP-LIGHT, ASYMMETRIC

*OWNER/CONTRACTOR TO SPECIFY COLOR/DIMMING/VOLTAGE

ORDERING INFORMATION	IES FILE	LAMP LUMENS	LLF	WATTS PER LUMINAIRE
DSX1 LED-P3-40K-70CRI-BLC3-SPA-x-x-EGSR-x-x	DSX1 LED P3 40K 70CRI BLC3 EGS.ies	13,763	0.9	135
DSX1 LED-P3-40K-70CRI-T4M-SPA-x-x-TS-x-x	DSX1 LED P3 40K 70CRI T4M TS.ies	13,968	0.9	137
DSX1 LED-P3-40K-70CRI-T5M-SPA-x-x-TS-x-x	DSX1 LED P3 40K 70CRI T5M TS.ies	14,371	0.9	141
KBC8 LED-350-40K-ASY-x-x-x	KBC8 LED 12C 350 40K ASY.MVLT.ies	809	0.9	51

POLE

FIXTURE LABEL	DESCRIPTION	CATALOG NUMBER	FOUNDATION	DETAIL
P3-S	LITHONIA LIGHTING, SSS SQUARE STRAIGHT STEEL POLE, 22'-6" LENGTH	SSS-22'-6"-SC-DM19AS-x-x	3'-0" (SEE DETAIL)	36" LIGHT FOUNDATION DETAIL
P4-S	LITHONIA LIGHTING, SSS SQUARE STRAIGHT STEEL POLE, 22'-6" LENGTH	SSS-22'-6"-SC-DM19AS-x-x	3'-0" (SEE DETAIL)	36" LIGHT FOUNDATION DETAIL
P5	LITHONIA LIGHTING, SSS SQUARE STRAIGHT STEEL POLE, 22'-6" LENGTH	SSS-22'-6"-SC-DM19AS-x-x	3'-0" (SEE DETAIL)	36" LIGHT FOUNDATION DETAIL

*SEE BOLLARD FOUNDATION DETAIL FOR TYPE B FIXTURES

CALCULATION SUMMARY

CALC ZONE	AVG	MAX	MIN	MAX/MIN	AVG/MIN
PARKING AREA	1.3 FC	2.5 FC	0.3 FC	8.3:1	4.3:1



ELON AFFORDABLE HOUSING, LLC
2000 MARKET STREET SUITE 200
PHILADELPHIA, PA 19107
TEL: 215-242-7450
FAX: 215-242-7451
WWW.LAUDENSLAGER.COM
DATE: 12/15/2023
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
LAST SAVE: 12/15/2023

LAUDENSLAGER SENIOR APARTMENTS PHASE I
100 MARKET STREET SUITE 200
PHILADELPHIA, PA 19107
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LIGHTING PLAN

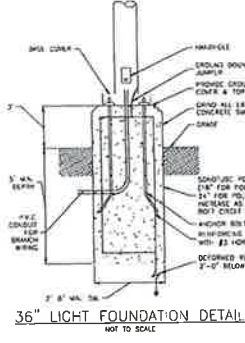


REVISIONS BY: J. B. BROWN
CHECKED BY: J. B. BROWN
DATE: 12/15/2023
DRAWN BY: J. B. BROWN
LAST SAVE: 12/15/2023

LGT

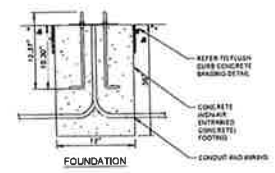
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29



- LIGHT FOUNDATION NOTES**
1. LIGHT BASE TO BE PROVIDED BY E.C.
 2. FOUNDATION TO BE LOCATED A MINIMUM 3" FROM BACK OF CURB UNLESS SPACE IS NOT AVAILABLE TO DO SO.
 3. CONTRACTOR TO VERIFY LIGHT POLE FOUNDATION IS LOCATED A MINIMUM 3" FROM SUB-SURFACE UTILITIES.
 4. CONTRACTOR IS TO ENSURE THAT THE FOUNDATION DESIGN AND POLE SPECIFICATIONS IS PREPARED BY A STRUCTURAL ENGINEER WITH CONSIDERATIONS OF LOAD, WIND LOADS AND SUITABLE FOR SPECIFIC SITE CONDITIONS.
 5. CONTRACTOR IS TO ENSURE THE DESIGN MEETS LIGHTING MANUFACTURER REQUIREMENTS.
 6. POLE TO BE SELECTED BY OWNER/ENGINEER IF NOT SPECIFIED ON THESE PLANS.
 7. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IF THERE IS ANY INTENT TO MOUNT ANYTHING TO THE LIGHT POLE (FLAGS, PLANTERS, ETC.).
 8. REINFORCE FOUNDATION AS NECESSARY PROVIDE A 3/4" BY 10' GROUND ROD AT EACH POLE LOCATION. BOND ALL REINFORCEMENT AND GROUNDING CONDUCTORS AT EACH POLE TO ROD.
 9. CONTRACTOR SHALL USE A FORM RELEASE AGENT AND APPLY TO ALL SURFACES AS RECOMMENDED BY THE MANUFACTURER.
 10. CONTRACTOR SHALL USE A FORM RELEASE AGENT AND APPLY TO ALL SURFACES AS RECOMMENDED BY THE MANUFACTURER.
 11. CONTRACTOR SHALL USE A FORM RELEASE AGENT AND APPLY TO ALL SURFACES AS RECOMMENDED BY THE MANUFACTURER.
 12. MINIMUM OF (3) SLEEVES REQUIRED FOR EACH CONCRETE FOUNDATION.

36" LIGHT FOUNDATION DETAIL
NOT TO SCALE



- BOLLARD FOUNDATION NOTES**
1. BOLLARD BASE TO BE PROVIDED BY E.C.
 2. CONTRACTOR TO VERIFY BOLLARD FOUNDATION IS LOCATED A MINIMUM 3" FROM SUB-SURFACE UTILITIES.
 3. CONTRACTOR IS TO ENSURE THAT THE FOUNDATION DESIGN AND BOLLARD SPECIFICATIONS IS PREPARED BY A STRUCTURAL ENGINEER WITH CONSIDERATIONS OF LOAD, WIND LOADS AND SUITABLE FOR SPECIFIC SITE CONDITIONS.
 4. CONTRACTOR IS TO ENSURE THE DESIGN MEETS LIGHTING MANUFACTURER REQUIREMENTS.
 5. REINFORCE FOUNDATION AS NECESSARY PROVIDE A 3/4" BY 10' GROUND ROD AT EACH POLE LOCATION. BOND ALL REINFORCEMENT AND GROUNDING CONDUCTORS AT EACH POLE TO ROD.
 6. CONTRACTOR SHALL USE A FORM RELEASE AGENT AND APPLY TO ALL SURFACES AS RECOMMENDED BY THE MANUFACTURER.
 7. CONTRACTOR SHALL USE A FORM RELEASE AGENT AND APPLY TO ALL SURFACES AS RECOMMENDED BY THE MANUFACTURER.
 8. CONTRACTOR SHALL USE A FORM RELEASE AGENT AND APPLY TO ALL SURFACES AS RECOMMENDED BY THE MANUFACTURER.

BOLLARD FOUNDATION DETAIL
NOT TO SCALE

D-Series Size 1 LED Area Luminaire

Specifications:

- Size: 1' x 1'
- Length: 12"
- Width: 12"
- Height: 12"
- Weight: 12"

Ordering Information:

EXAMPLE: D-SERIES SIZE 1 LED AREA LUMINAIRE (12" x 12" x 12")

Item	Qty	Description	Unit	Price	Total
1	1	D-SERIES SIZE 1 LED AREA LUMINAIRE (12" x 12" x 12")	EA	12.00	12.00

KBC8 LED LED Spot/Track Luminaire

Specifications:

- Size: 1' x 1'
- Length: 12"
- Width: 12"
- Height: 12"
- Weight: 12"

Ordering Information:

EXAMPLE: KBC8 LED (12" x 12" x 12")

Item	Qty	Description	Unit	Price	Total
1	1	KBC8 LED (12" x 12" x 12")	EA	12.00	12.00

LITHONIA LIGHTING

SSS Square Straight Steel Poles

Features & Specifications:

- Material: Steel
- Finish: Powder Coat
- Height: 12'
- Base: 12" x 12"

Ordering Information:

EXAMPLE: SSS SQUARE STRAIGHT STEEL POLE (12' x 12" x 12")

Item	Qty	Description	Unit	Price	Total
1	1	SSS SQUARE STRAIGHT STEEL POLE (12' x 12" x 12")	EA	12.00	12.00

LITHONIA LIGHTING

SSS Square Straight Steel Poles

Ordering Information:

EXAMPLE: SSS SQUARE STRAIGHT STEEL POLE (12' x 12" x 12")

Item	Qty	Description	Unit	Price	Total
1	1	SSS SQUARE STRAIGHT STEEL POLE (12' x 12" x 12")	EA	12.00	12.00

ELON AFFORDABLE HOUSING, LLC
2000 MARKET STREET, SUITE 400
PHILADELPHIA, PA 19103
TEL: 215-272-7410
FAX: 215-272-7411

LAUDENSLAGER SENIOR APARTMENTS PHASE I
2000 MARKET STREET, SUITE 400
PHILADELPHIA, PA 19103
TEL: 215-272-7410
FAX: 215-272-7411

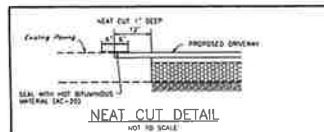
LIGHTING DETAILS

AND
YOUR GOALS. OUR MISSION.

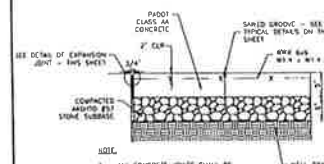
2000 MARKET STREET, SUITE 400
PHILADELPHIA, PA 19103
TEL: 215-272-7410
FAX: 215-272-7411

13

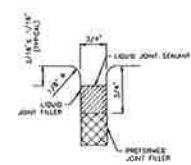
29



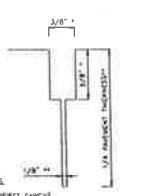
NEAT CUT DETAIL
NOT TO SCALE



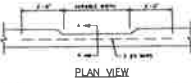
CONSTRUCTION JOINT (CJ)
NOT TO SCALE



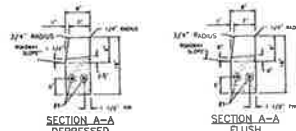
TYPICAL DETAIL OF EXPANSION JOINTS
NOT TO SCALE



TYPICAL DETAIL OF SAWED GROOVE
NOT TO SCALE



PLAN VIEW

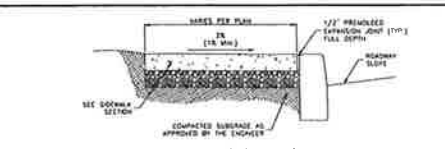


SECTION A-A DEPRESSION

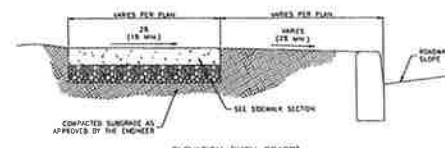
SECTION A-A FLUSH

- NOTES:
1. DEPRESSION DETAIL AND CONSTRUCTION METHOD ARE FOR 8" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE.
 2. DEPRESSION DETAIL AND CONSTRUCTION METHOD ARE FOR 8" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE.
 3. DEPRESSION DETAIL AND CONSTRUCTION METHOD ARE FOR 8" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE.
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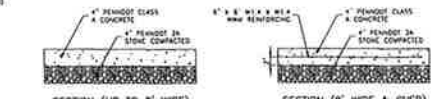
DEPRESSION AND FLUSH CURB
NOT TO SCALE



ELEVATION (W/O GRASS)

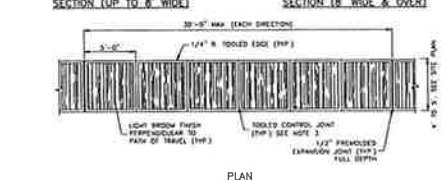


ELEVATION (WITH GRASS)



SECTION (UP TO 6" WIDE)

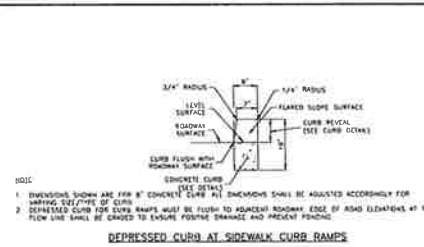
SECTION (6" WIDE & OVER)



PLAN

- NOTES:
1. ALL CONSTRUCTION, MATERIALS, METHODS OF CONSTRUCTION AND CONTROL OF WORK TO BE GOVERNED BY THE CURRENT EDITION OF PENNDOT SPECIFICATIONS, PUBLICATION 800.
 2. PLACE 1/2" PRECASTED EXPANSION JOINT MATERIAL TOP THE FULL DEPTH OF THE DEPRESSION AT 10' INTERVALS. OPPOSITE EXPANSION JOINTS IN ADJACENT CURBS BETWEEN THE DEPRESSION AND CURB AND BETWEEN THE DEPRESSION AND SIDEWALK SHALL BE STaggered.
 3. FORM TRANSVERSE TOGGLED CONTROL JOINTS AT 5' FOOT INTERVALS, APPROXIMATELY 1/8" WIDE AND AT LEAST 1" DEEP OR PER SECTION, DEPRESSION, PLANE, WHEN PROVIDED.
 4. ALL EXPOSED CONCRETE SHALL BE SEALED WITH AQUADUR 3000 OR APPROVED EQUAL.
 5. EXISTING CONCRETE TO BE REMOVED ADJACENT TO EXISTING CONCRETE TO SQUARE SHALL BE SAW CUT FULL DEPTH AT AN EXISTING CONTROL JOINT.
 6. FOR USE WITH PRECASTED FRAMES, JAWS.
 7. CONCRETE USED IN CURBING SHALL BE AT LEAST 3000 POUNDS PER SQUARE YARD AT 28 DAYS WITH CERTIFICATION OF THE MIX FURNISHED TO THE TOWNSHIP ENGINEER. CONCRETE SHALL BE PLACED IN FORMS THAT ARE STRAIGHT AND SECURELY BRACED. CARE SHALL BE TAKEN TO CONTROL THE WATER CONTENT TO PREVENT SEPARATION OF THE AGGREGATE. THE CONCRETE SHALL HAVE A FINISH FLOOR AND THE EDGES SHALL BE FINISHED WITH AN APPROVED EDGING TOOL.

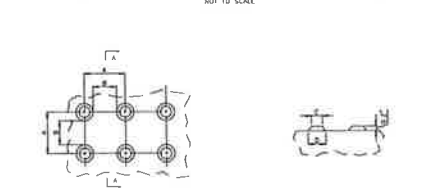
SIDEWALK — CONCRETE
NOT TO SCALE



DEPRESSION CURB AT SIDEWALK CURB RAMP

- NOTES:
1. DEPRESSION DETAIL AND CONSTRUCTION METHOD ARE FOR 8" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE.
 2. DEPRESSION DETAIL AND CONSTRUCTION METHOD ARE FOR 8" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE.
 3. DEPRESSION DETAIL AND CONSTRUCTION METHOD ARE FOR 8" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE.
 4. DEPRESSION DETAIL AND CONSTRUCTION METHOD ARE FOR 8" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE.
 5. DEPRESSION DETAIL AND CONSTRUCTION METHOD ARE FOR 8" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE. DEPRESSION DETAIL IS FOR 12" CONCRETE.

CURB RAMP — GENERAL INFORMATION
NOT TO SCALE



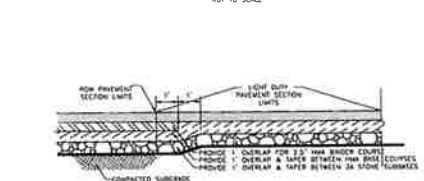
PLAN

SECTION A-A

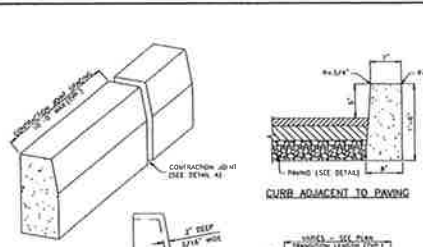
TRUNCATED SOME DIMENSIONS	INCHES	FEET
1	1/2	1/2
2	1/2	1/2
3	1/2	1/2
4	1/2	1/2
5	1/2	1/2

- NOTES:
1. THE CURB DIMENSION SHALL BE 8" OR 12" AS SHOWN ON THE DRAWING.
 2. DETECTABLE WARNING SURFACES SHALL COMPLY WITH ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND PENNDOT PUBLICATION 800.
 3. DETECTABLE WARNING SURFACES SHALL BE PROVIDED AT ALL LOCATIONS WHERE A PEDESTRIAN WALK, CROSSWALK OR BIKEWAY MEETS A ROADWAY SURFACE AND NOT SEPARATED BY CURBS, RAILINGS OR OTHER OBSTACLES.
 4. DETECTABLE WARNING SURFACES SHALL EXTEND THE FULL WIDTH OF THE WALKING PATH AND BE A MINIMUM OF TWO FEET (2') IN DEPTH.
 5. DETECTABLE WARNING SURFACES SHALL BE APPROXIMATELY (10) INCHES SYSTEM - CAST IN PLACE SYSTEM OR APPROVED EQUAL (PENNDOT-142-001).
 6. COLOR SHALL BE DARK GRAY (FEDERAL COLOR NO. 3418) COLORS SHALL BE SUBMITTED FOR OWNER'S APPROVAL PRIOR TO ORDERING MATERIAL.

DETECTABLE WARNING SURFACE
NOT TO SCALE



ROW SECTION — ACCESS DRIVE PAVEMENT MATCH DETAIL
NOT TO SCALE

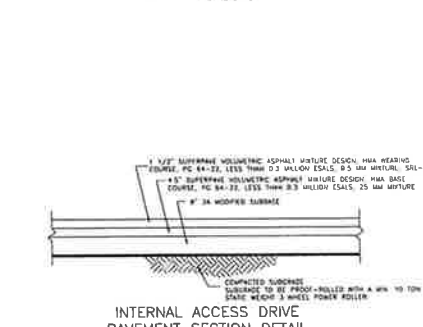


CURB ADJACENT TO PAVING

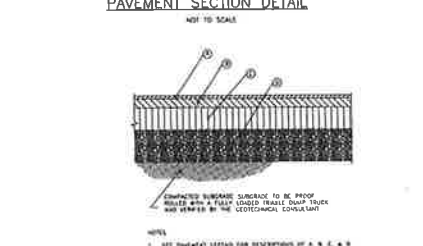
CURB TAPER

- NOTES:
1. CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
 2. A PRECASTED BRUNNENBERG-APPROVED ONE-HALF-INCH (1/2") EXPANSION JOINT SHALL BE PLACED BETWEEN SECTIONS OF CURBING AT INTERVALS OF NOT MORE THAN 30 FEET AND AT THE END OF THE WORK DAY.
 3. FLEEWAY FORMS SHALL BE REQUIRED FOR ALL CURB BACK WITH A RADIUS OF LESS THAN 150 FEET.
 4. WHEN THE SURFACE IS LEFT OR EXPOSED, AS DETERMINED BY THE MUNICIPAL ENGINEER, A LAYER OF CRUSHED STONE NOT LESS THAN 4" THICKNESS SHALL BE PLACED UNDER THE CURB.
 5. CURBS SHALL BE CONSTRUCTED IN 10 FOOT LENGTHS.
 6. AC-30 OR EQUAL GUTTER/PAVEMENT JOINT SEALER TO BE PROVIDED 1 FOOT OUT AND 1" UP FACE OF CURB.

CURB — CONCRETE
NOT TO SCALE



INTERNAL ACCESS DRIVE PAVEMENT SECTION DETAIL
NOT TO SCALE



PUBLIC RIGHT-OF-WAY PAVEMENT SECTION DETAIL
NOT TO SCALE

- FOR ROAD PAVING SECTION:
1. SUPERPAVE ASPHALT MIXTURE DESIGN HEARING COURSE PG 640-22, 10 TO 120 YELLOW EGGS, 9.5 YD VOLUME, 5% - 1.
 2. SUPERPAVE ASPHALT MIXTURE DESIGN HEARING COURSE PG 640-22, 10 TO 120 YELLOW EGGS, 9.5 YD VOLUME, 5% - 1.
 3. SUPERPAVE ASPHALT MIXTURE DESIGN BASE COURSE PG 640-22, 10 TO 120 YELLOW EGGS, 9.5 YD VOLUME, 5% - 1.
 4. SUPERPAVE ASPHALT MIXTURE DESIGN BASE COURSE PG 640-22, 10 TO 120 YELLOW EGGS, 9.5 YD VOLUME, 5% - 1.
 5. SUPERPAVE ASPHALT MIXTURE DESIGN BASE COURSE PG 640-22, 10 TO 120 YELLOW EGGS, 9.5 YD VOLUME, 5% - 1.

PAVEMENT LEGEND — PENNDOT
NOT TO SCALE



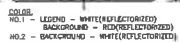
NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

ELON AFFORDABLE HOUSING LLC
AND ELON COMMUNITY DEVELOPMENT
LAURENCE SENIOR APARTMENTS PHASE I
4475 LINDSEY DRIVE, SUITE 100, ELON, NC 27520
704.771.1234
WWW.ELONHOUSING.COM

YOUR GOALS. OUR MISSION.
2000 MARKET STREET, SUITE 200
PITTSBURGH, PA 15122
724.264.1333
FAX 724.264.1345
WWW.ELONHOUSING.COM
OFFICES LOCATED IN
CALIFORNIA, ILLINOIS, INDIANA,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

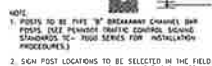
DESIGNED BY	ELON HOUSING LLC
DRAWN BY	ELON HOUSING LLC
CHECKED BY	ELON HOUSING LLC
DATE	10/1/2023
SCALE	AS SHOWN
TITLE	CONSTRUCTION DETAILS
SHEET	16
OF	29



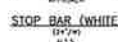
NOTE:
MOUNTING HEIGHT TO BOTTOM OF SIGN IS 5 FT. UNLESS SIGN IS
ADJACENT AND PERPENDICULAR TO SIDEWALK, THEREBY, MOUNTING
HEIGHT IS THEN 7 FT TO BOTTOM OF SIGN

DO NOT ENTER SIGN (PADOT R5-1)
R.T.S.

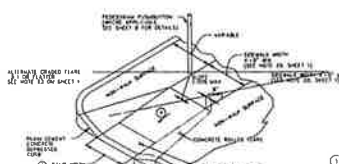
DO NOT ENTER SIGN (PADOT R5-1)



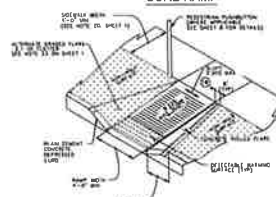
SIGN POST DETAIL
NOT TO SCALE



PARKING SPACE LAYOUT

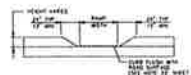


TYPE 4A
CURB RAM

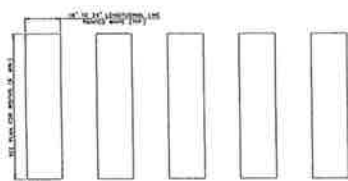


TYPE 4A
CURB RAMP
(PERPENDICULAR)

- 1) SIDE FLARES TO 00% MAX SLOPE
- 2) @ 3.3% MAX RAMP SLOPE. SEE NOTE B SHEET 1
- 3) CURB RAMP WIDTH IS EQUAL TO SIDEWALK WIDTH WHEN THE SIDEWALK WIDTH IS GREATER THAN OR EQUAL TO THE MINIMUM 4'-0"
- 4) SLOPE VARIES SEE RAMP DETAILS
- 5) CURB RAMPS REQUIRE A TURNING SPACE WITH A MINIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS AND DIMENSIONS.

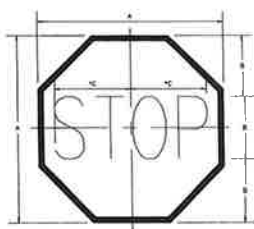


TYPE 4A NON-TRAVERSABLE
ROLLED FLARES



- [illegible]

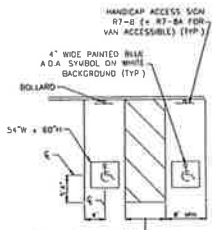
CROSSWALK STRIPING DETAIL
NOT TO SCALE



SUN SIZE	DIMENSIONS			SERIES/ROW		BLANK SPD
	A	B	C	COLOR	CHAR	
30x20	30	10	3.4	C	2	81-25

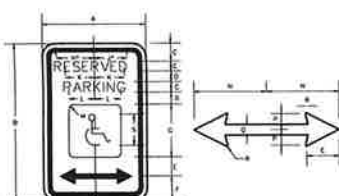
- NOTES
1 MOUNTING HEIGHT TO BOTTOM OF SIGN SHALL BE 4'-0"
2 TO BE MOUNTED ON BREAKAWAY SIGN POST INSTALLED IN
ACCORDANCE WITH PENNDOT PUB. 408, SECTION 931
AND SECTION 1103.08

STOP SIGN (R1-1) DETAIL

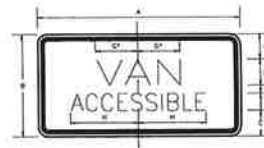


- NOTES
1. GRADING THROUGH A D.A. PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
 2. CURB RAMPS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND.
 3. CURB RAMPS, PAVEMENT MARKINGS, AND APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.A. ACCESSIBLE GUIDELINES.

PARKING SPACE LAYOUT (A.D.A. ACCESSIBLE)

[illegible]

RESERVED PARKING SIGN (R7-8)

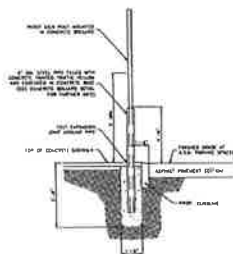


COLOR LEGEND BACKGROUND WHITE (REFLECTOR)
* REDUCE LETTER SPACING SOME

DIMENSIONS									
SIZE	A	B	C	D	E	F	G	H	I
12x6	12	8	1	1	1	1	1	1	1

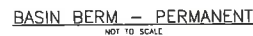
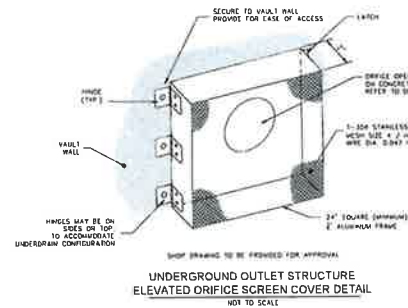
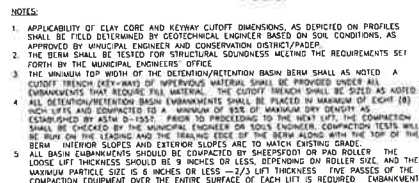
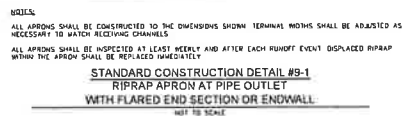
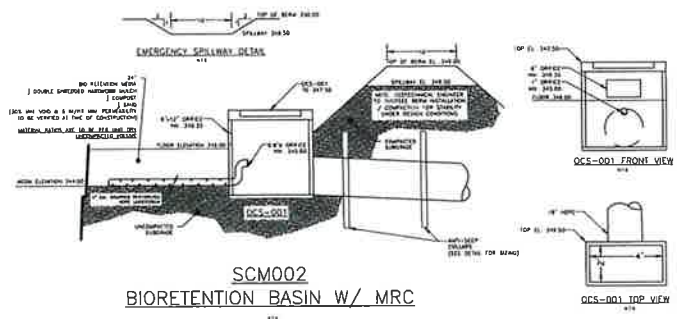
SIZE	SERIES 1205		SERIES 1206	SERIES 1207	SERIES 1208
	1205	1206			
12x6	12	8	1	1	1

VAN ACCESSIBLE SIGN (PADOT R7-8A)



1. 100% TO PLAN SET FOR LITERATURE OF PROPOSED BALANCE.

SIGN_BOLLARD



BASIN OR TRAP NUMBER	PIPE SIZE (IN)	S (IN)	NO. OF COLLAR	DISTANCE INCHES TO 1ST COLLAR (FT)
SCM-1	18	84.00	1	8.0
SCM-2	18	13.00	1	8.0

NOISE

1. USE PENNDOT CLASS A CONCRETE
2. MAINTAIN A MINIMUM 6" COVER OVER ANTI-SEEP COLLAR
3. THE CONNECTION OF ANTI-SEEP COLLAR TO OUTLET PIPES SHALL BE WATERTIGHT
4. O-RING CASSETS SHALL BE USED ON BASIN DISCHARGE PIPES THROUGH BERM AREAS
5. MAXIMUM SPACING OF ANTI-SEEP COLLARS THROUGH BERM AREAS SHALL BE 40 FEET
6. MINIMUM REINFORCEMENT SHALL BE PROVIDED USING #3 BARS IN 1'-3" HORIZONTAL AND VERTICAL SPACING
7. PRIOR TO ANTI-SEEP COLLARS INSTALLING BE USED IN PLACE OF CAST-IN-PLACE COLLARS
8. A QUALITY NON-SHRINKING EXPANSION MATERIAL SHALL BE USED TO SEAL THE ANNULAR SPACE BETWEEN THE ANTI-SEEP COLLAR AND PIPES SURFACE. THE QUALITY SHALL BE NOTIFIED FOR THE FULL THICKNESS OF THE COLLAR

ANTI-SEEP COLLAR

NOT TO SCALE

[illegible]

OFFICE OF TECHNOLOGY UTILIZATION OF THE NATIONAL AERONAUTICS AND SPACE ADMINISTRATION
 NATIONAL AERONAUTICS AND SPACE ADMINISTRATION
 OFFICE OF TECHNOLOGY UTILIZATION
 1401 AERONAUTICS BUILDING
 WASHINGTON, D. C. 20546
 TELEPHONE: (202) 455-6000
 TELETYPE: (202) 455-6000
 FAX: (202) 455-6000

ELON AFFORDABLE HOUSING, LLC

LAUDENSLAGER SENIOR APARTMENTS PHASE I

200 N. MAIN STREET, SUITE 100, IN 1940
 100 N. MAIN STREET, SUITE 100, IN 1940

POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS -1



1000 MARKET STREET | SUITE 800
PHILADELPHIA, PA 19103
TEL 215-293-7880
FAX 215-627-3450
www.milmedusa.com
OFFICES LOCATED IN
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MASSACHUSETTS MICHIGAN NEW YORK
NEW AND BRUNSWICK NEW JERSEY

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TEL. NO.	

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Page No. _____ of _____

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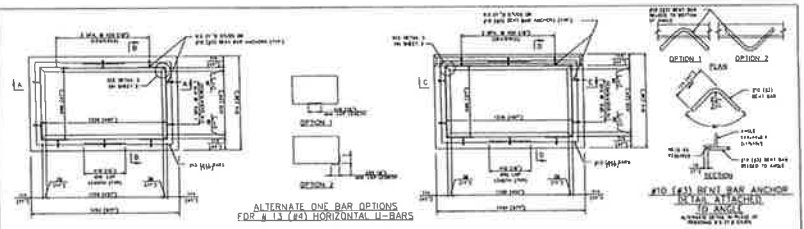
- 2) THE DEFINITION OF THE TYPE OF GRATE MATERIAL AND THE CORROSION RESISTANCE SHALL BE DETERMINED ACCORDING TO THE CONTRACT SPECIFICATIONS.

INDEX OF SUBJECTS	
SUBJECT NO.	SUBJECT NAME
1	GENERAL APTITUDE
2	REASONING - PART 1 (LOGIC & ANALYSIS)
3	REASONING - PART 2 (LOGIC & ANALYSIS)
4	REASONING - PART 3 (LOGIC & ANALYSIS)
5	REASONING - PART 4 (LOGIC & ANALYSIS)
6	REASONING - PART 5 (LOGIC & ANALYSIS)
7	REASONING - PART 6 (LOGIC & ANALYSIS)
8	REASONING - PART 7 (LOGIC & ANALYSIS)
9	REASONING - PART 8 (LOGIC & ANALYSIS)
10	REASONING - PART 9 (LOGIC & ANALYSIS)
11	REASONING - PART 10 (LOGIC & ANALYSIS)
12	REASONING - PART 11 (LOGIC & ANALYSIS)
13	REASONING - PART 12 (LOGIC & ANALYSIS)
14	REASONING - PART 13 (LOGIC & ANALYSIS)
15	REASONING - PART 14 (LOGIC & ANALYSIS)
16	REASONING - PART 15 (LOGIC & ANALYSIS)
17	REASONING - PART 16 (LOGIC & ANALYSIS)
18	REASONING - PART 17 (LOGIC & ANALYSIS)
19	REASONING - PART 18 (LOGIC & ANALYSIS)
20	REASONING - PART 19 (LOGIC & ANALYSIS)
21	REASONING - PART 20 (LOGIC & ANALYSIS)

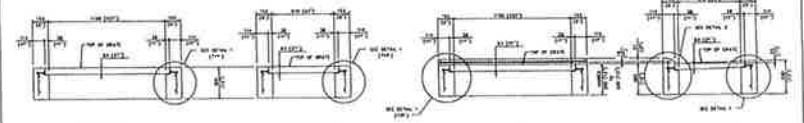
NOTE: EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MIXED.

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION
BUREAU OF DESIGN

INLET TOPS, GRATES, AND FRAMES
GENERAL NOTES



PLAN VIEW - TYPE 5



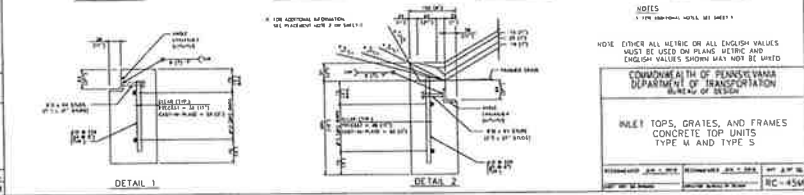
SECTION D-D

NOTES
1. TYPE, DIMENSIONS, WEIGHT, SET SHEET 1

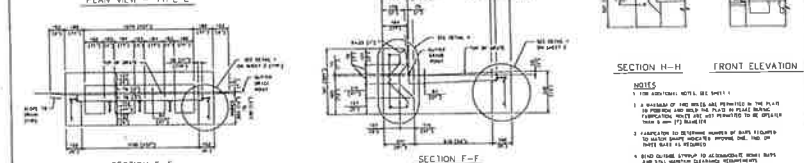
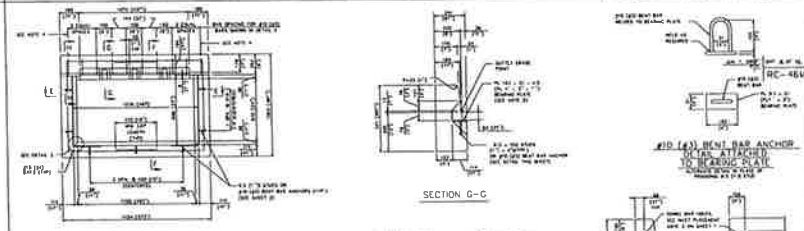
NOTE: EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE USED

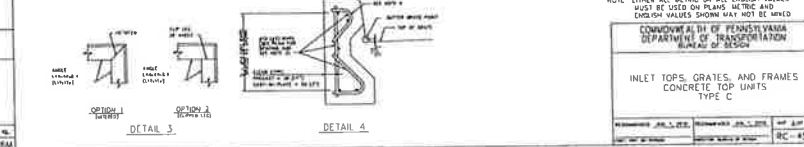
COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION
BUREAU OF DESIGN

**INLET TOPS, GRATES, AND FRAMES
CONCRETE TOP UNITS
TYPE M AND TYPE S**

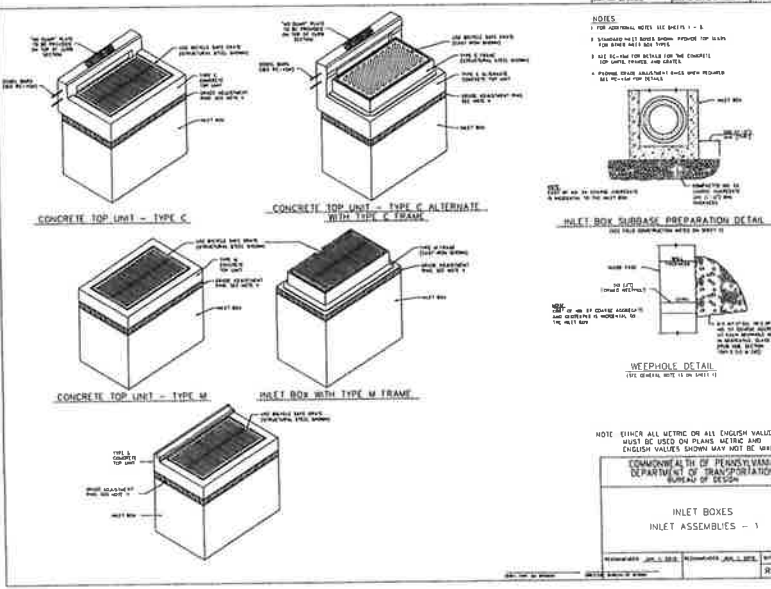


DETAILS





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CONCRETE TOP UNIT - TYPE C ALTERNATE
WITH TYPE C TRAYS

NET BOX WITH TYPE M FRAME

INLET BOXES

NOTE: EITHER ALL METRIC OR ALL ENGLISH VALUES
MUST BE USED ON PLANS. METRIC AND
ENGLISH VALUES SHOWN MAY NOT BE WROTE

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION
BUREAU OF DESIGN

INLET BOXES
INLET ASSEMBLIES - 3



ELON AFFORDABLE HOUSING, LLC
240 NEW YORK DRIVE, FORT WASHINGTON, PA 19034

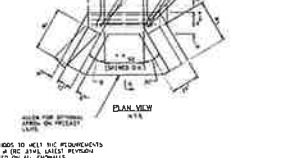
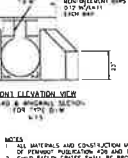
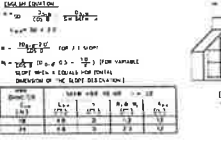
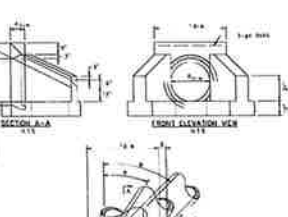
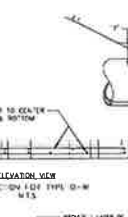
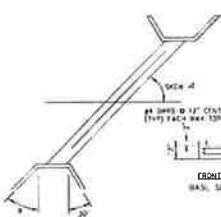
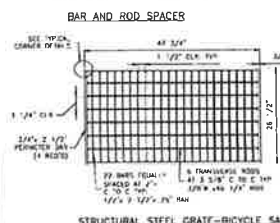
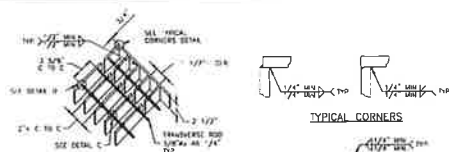
LAGER SENIOR APARTMENTS PHASE I
200 N. LAMT STREET, WATERBURY, PA 16808
APR 2005 UNTIL 11/05, 3 BEDROOM, 1000 SQUARE FEET, 2 BATHS

STORM SEWER DETAILS - 2



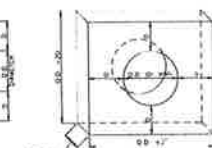
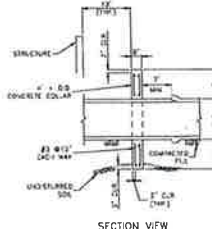
1000 MARKET STREET SUITE 800
PHILADELPHIA, PA 19103
TEL 215-293-7800
FAX 215-293-7899
WWW.ANDLIVE.COM
OFFICE LOCATED IN:
CA FL ILL IN MD MI NY OH PA VA WA
MASS VALENTIUS JACOBI, AIA, LEED AP, LEED FID

[illegible]



TYPE D-W ENDWALL

ITEM NO.	DESCRIPTION	QTY	UNIT
1	1/2" DIA. BARS	10	FT
2	1/2" DIA. BARS	10	FT
3	1/2" DIA. BARS	10	FT
4	1/2" DIA. BARS	10	FT
5	1/2" DIA. BARS	10	FT
6	1/2" DIA. BARS	10	FT
7	1/2" DIA. BARS	10	FT
8	1/2" DIA. BARS	10	FT
9	1/2" DIA. BARS	10	FT
10	1/2" DIA. BARS	10	FT



- NOTES**
1. USE REINFORCED CONCRETE.
 2. REINFORCE WITH 1/2" DIA. BARS.
 3. REINFORCE WITH 1/2" DIA. BARS.
 4. REINFORCE WITH 1/2" DIA. BARS.
 5. REINFORCE WITH 1/2" DIA. BARS.
 6. REINFORCE WITH 1/2" DIA. BARS.
 7. REINFORCE WITH 1/2" DIA. BARS.
 8. REINFORCE WITH 1/2" DIA. BARS.
 9. REINFORCE WITH 1/2" DIA. BARS.
 10. REINFORCE WITH 1/2" DIA. BARS.

ANTI-SEEP COLLAR

NOT TO SCALE

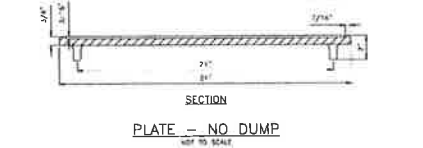
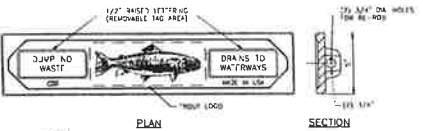
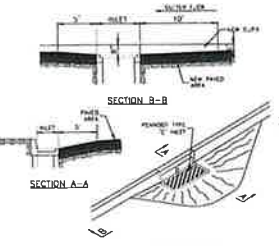
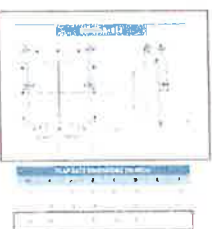


PLATE - NO DUMP

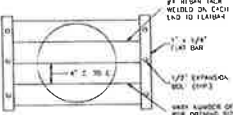
NOT TO SCALE



INLET PAVING TAPER



RH FLAP GATE DETAIL



- NOTES**
1. THE NUMBER OF ROWS AND LENGTH OF REBAR REQUIRED DEPENDS ON OPENING.
 2. REBAR TO COVER THE ENTIRE PERIMETER OF THE OPENING.
 3. REBAR FOR ALL CORNERS AND CHAMFER (SHOWN GRAPHICALLY).
 4. ALL REBAR TO BE CORNER CORNERS.
 5. CHAMFER CORNERS SHALL BE PROVIDED ON ALL CORNERS (SEE 3104).

OUTLET CONTROL BOX - SUBBASE PREPARATION

NOT TO SCALE

PIPE BEDDING (STORM SEWER)

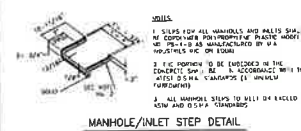
NOT TO SCALE

CHILD SAFETY GRATE

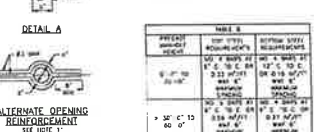
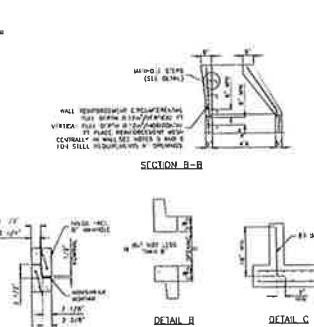
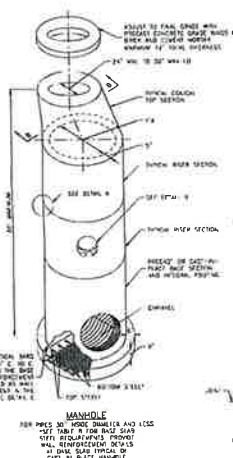
NOT TO SCALE

STRUCTURAL STEEL GRATE (BICYCLE SAFE)

NOT TO SCALE



MANHOLE



ITEM NO.	DESCRIPTION	QTY	UNIT
1	1/2" DIA. BARS	10	FT
2	1/2" DIA. BARS	10	FT
3	1/2" DIA. BARS	10	FT
4	1/2" DIA. BARS	10	FT
5	1/2" DIA. BARS	10	FT
6	1/2" DIA. BARS	10	FT
7	1/2" DIA. BARS	10	FT
8	1/2" DIA. BARS	10	FT
9	1/2" DIA. BARS	10	FT
10	1/2" DIA. BARS	10	FT

- NOTES**
1. REINFORCE MANHOLES WITHIN THE REQUIREMENTS OF PUBLICATION 408, SECTION 114. MAY BE SUBSTITUTED FOR THE STANDARD EXISTING IN PLACE WHERE THE REINFORCEMENT OF THE STANDARD EXISTING IS NOT AVAILABLE FOR REINFORCEMENT.
 2. REINFORCE WITH 1/2" DIA. BARS.
 3. REINFORCE WITH 1/2" DIA. BARS.
 4. REINFORCE WITH 1/2" DIA. BARS.
 5. REINFORCE WITH 1/2" DIA. BARS.
 6. REINFORCE WITH 1/2" DIA. BARS.
 7. REINFORCE WITH 1/2" DIA. BARS.
 8. REINFORCE WITH 1/2" DIA. BARS.
 9. REINFORCE WITH 1/2" DIA. BARS.
 10. REINFORCE WITH 1/2" DIA. BARS.

MANHOLE (PRECAST)

NOT TO SCALE



ITEM NO.	DESCRIPTION	QTY	UNIT
1	1/2" DIA. BARS	10	FT
2	1/2" DIA. BARS	10	FT
3	1/2" DIA. BARS	10	FT
4	1/2" DIA. BARS	10	FT
5	1/2" DIA. BARS	10	FT
6	1/2" DIA. BARS	10	FT
7	1/2" DIA. BARS	10	FT
8	1/2" DIA. BARS	10	FT
9	1/2" DIA. BARS	10	FT
10	1/2" DIA. BARS	10	FT

ELOW AFFORDABLE HOUSING, LLC
1015 W. 10TH AVE. SUITE 100
DENVER, CO 80202
303.733.7373
www.elowaffordablehousing.com

LAUDENSLAGER SENIOR APARTMENTS PHASE I
2011 MARKET STREET, SUITE 100
DENVER, CO 80202
303.733.7373
www.laudenslager.com

STORM SEWER DETAILS - 1



ITEM NO.	DESCRIPTION	QTY	UNIT
1	1/2" DIA. BARS	10	FT
2	1/2" DIA. BARS	10	FT
3	1/2" DIA. BARS	10	FT
4	1/2" DIA. BARS	10	FT
5	1/2" DIA. BARS	10	FT
6	1/2" DIA. BARS	10	FT
7	1/2" DIA. BARS	10	FT
8	1/2" DIA. BARS	10	FT
9	1/2" DIA. BARS	10	FT
10	1/2" DIA. BARS	10	FT

Material	Stabilization of Oil Spills	Stabilization of Air Spills
Water	Yes	Yes
Light Emulsion	Yes	Yes
Wool	Yes	Yes
Wool (2%)	Yes	Yes
Wool (4%)	Yes	Yes
Wool (6%)	Yes	Yes
Wool (8%)	Yes	Yes
Wool (10%)	Yes	Yes
Wool (12%)	Yes	Yes
Wool (14%)	Yes	Yes
Wool (16%)	Yes	Yes
Wool (18%)	Yes	Yes
Wool (20%)	Yes	Yes
Wool (22%)	Yes	Yes
Wool (24%)	Yes	Yes
Wool (26%)	Yes	Yes
Wool (28%)	Yes	Yes
Wool (30%)	Yes	Yes
Wool (32%)	Yes	Yes
Wool (34%)	Yes	Yes
Wool (36%)	Yes	Yes
Wool (38%)	Yes	Yes
Wool (40%)	Yes	Yes
Wool (42%)	Yes	Yes
Wool (44%)	Yes	Yes
Wool (46%)	Yes	Yes
Wool (48%)	Yes	Yes
Wool (50%)	Yes	Yes
Wool (52%)	Yes	Yes
Wool (54%)	Yes	Yes
Wool (56%)	Yes	Yes
Wool (58%)	Yes	Yes
Wool (60%)	Yes	Yes
Wool (62%)	Yes	Yes
Wool (64%)	Yes	Yes
Wool (66%)	Yes	Yes
Wool (68%)	Yes	Yes
Wool (70%)	Yes	Yes
Wool (72%)	Yes	Yes
Wool (74%)	Yes	Yes
Wool (76%)	Yes	Yes
Wool (78%)	Yes	Yes
Wool (80%)	Yes	Yes
Wool (82%)	Yes	Yes
Wool (84%)	Yes	Yes
Wool (86%)	Yes	Yes
Wool (88%)	Yes	Yes
Wool (90%)	Yes	Yes
Wool (92%)	Yes	Yes
Wool (94%)	Yes	Yes
Wool (96%)	Yes	Yes
Wool (98%)	Yes	Yes
Wool (100%)	Yes	Yes

Station Name	Year 1960	Year 1961	Year 1962	Year 1963	Year 1964
Station 1	1000	1000	1000	1000	1000
Station 2	1000	1000	1000	1000	1000
Station 3	1000	1000	1000	1000	1000
Station 4	1000	1000	1000	1000	1000
Station 5	1000	1000	1000	1000	1000
Station 6	1000	1000	1000	1000	1000
Station 7	1000	1000	1000	1000	1000
Station 8	1000	1000	1000	1000	1000
Station 9	1000	1000	1000	1000	1000
Station 10	1000	1000	1000	1000	1000
Station 11	1000	1000	1000	1000	1000
Station 12	1000	1000	1000	1000	1000
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Station 27	1000	1000	1000	1000	1000
Station 28	1000	1000	1000	1000	1000
Station 29	1000	1000	1000	1000	1000
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Station 31	1000	1000	1000	1000	1000
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Station 54	1000	1000	1000	1000	1000
Station 55	1000	1000	1000	1000	1000
Station 56	1000	1000	1000	1000	1000
Station 57	1000	1000	1000	1000	1000
Station 58	1000	1000	1000	1000	1000
Station 59	1000	1000	1000	1000	1000
Station 60	1000	1000	1000	1000	1000

NOTES:
NO GROUND BAILS SHALL BE REQUIRED FOR THIS INSTALLATION.
THIS DETAIL SHALL BE USED IN CONJUNCTION WITH STANDARD CONSTRUCTION DETAILS 87-2 AND 87-4

SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE

TRAP NO	Z1 (FT)	Z2 (FT)	TEUP RISER EXT. (FT)	ENGAGEMENT				CLEAN OUT ELEV COC (FT)	BOTTOM ELEV (FT)
				TOP ELEV (FT)	TOP WIDTH (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)		
1	3	3	348.50	348.70	5	2	4	348	347
2	3	3	347.50	319.78	5	2	4	347	346

PERSPECTIVE VIEW

END VIEW

FRONT VIEW

Labels in the diagram include: GUIDE RAILS, ARM ASSEMBLY, PVC VENT PIPE, ENCLOSURE, PVC ELBOW, WATER SURFACE, PVC END CAP, FLEXIBLE HOSE, SCHEDULE 40 PVC PIPE, SERVICE PLATE, BASIN BOTTOM, LANDING DEVICE, and SEDIMENT STORAGE (ELEVATION).

STANDARD CONSTRUCTION DETAIL #7-14

TRAP NO.	Z1 (FT)	Z2 (FT)	RISER EXT. ELEV TIE (FT)	EMDANKMENT			CLEAN OUT ELEV CFC (FT)	BOTTOM ELEV (FT)
				TOP ELEV C/LC (FT)	TOP WIDTH C/FW (FT)	KEY TRENCH DEPTH (FT)		
1	3	3	348.50	348.70	5	2	348	347
2	3	3	347.50	349.78	5	2	347	346

DIA Sd (IN)	LENGTH Sd (FT)	MAT'L	DIA Sd (IN)	WGT (LBS)	MAT'L	LENGTH Sd (FT)	WGT (LBS)
8	10	PVC	18	344.20	HDPPE	28	344.00

AREA UNDER EMBANKMENT SHALL BE CLEARED, CRUSHED, AND STRIPPED TO TOPSOIL TO A DEPTH OF PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL IN ORDER TO FACILITATE MAINTENANCE RESTORATION. THE FILL AREA SHALL BE CLEARED OF ALL BRUSH, TREES, AND OBSTRUCTIONAL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS OF OTHER WOODY VEGETATION. ORGANIC MATERIAL SHALL BE CHISELED AND

UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED, MULCHED, BLANKETED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON EMBANKMENT.

BASIN EMBANKMENTS, SPILLWAYS, AND OUTLETS SHALL BE INSPECTED FOR EROSION, PIPING AND SE
NECESSARY REPAIRS SHALL BE IMMEDIATELY. DISPLACED RIPRAP WITHIN THE OUTLET ENERGY DISSIP
BE REPLACED IMMEDIATELY

MODIFIED STANDARD CONSTRUCTION DETAIL #7-4
SEDIMENT TRAP EMBANKMENT AND SPILLWAY DETAILS - SKIN
ITALICIZED ITEMS ARE MODIFICATIONS OF STANDARD DETAIL

1. INSTALL 1" COMPOST FILTER SOON DOWN-SLOPE OF AREA OF SLOPE.

2. PLACE STOCKPILE IN AREAS SHOWN ON EROSION CONTROL PLAN WITHOUT BLOCKING NATURAL DRAINAGE PATTERNS.

3. FOLLOW DIMENSIONS SHOWN ABOVE. HEIGHT SHOULD NOT EXCEED 35 FT. SIDE SLOPES SHOULD NOT BE STEEPER THAN 2:1 (H:V).

4. SEED IMMEDIATELY WITH TEMPORARY SEEDING PEGMADOL FORMULA "D" OR "E". IF MATERIAL IS NOT TO BE USED BELIEF TO SUE. FOLLOW TEMPORARY SEEDING APPLICATION SCHEDULE & SPECIFICATIONS.

1 CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FLAG ALONG WITH THE DISTURBED BOUNDARY FROM
THE START OF ANY EARTHWORKING
2 CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN FLAG THROUGHOUT THE DURATION OF THE PROJECT

Note: X Indicates Slope Break - See Calculation Sheet in Report

NOTES:
SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

NOTE: SLOPE SHALL BE FREE OF ROCKS, LIMBS, STICKS, AND GRASS.

SECTION VIEW

NOTES

EROSION CONTROL BLANKET INSTALLATION

ANTI-SEEP COLLAR

NOTES

ELEVATION VIEW

PLAN VIEW

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

TYPICAL COMPOST SOCK

4. FILTER BAG

GROUP: 3000 F31
(UW)

CROSS-SECTION AT OUTLET BARREL

NOTE

STANDARD CONSTRUCTION DETAIL #7-17

CONCRETE CRADLE FOR BASIN OR TRAP OUTLET BARRIER

EROSION AND SEDIMENT CONTROL DETAILS - 2

ELON AFFORDABLE HOUSING, LLC



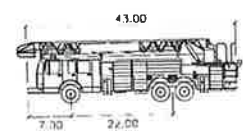
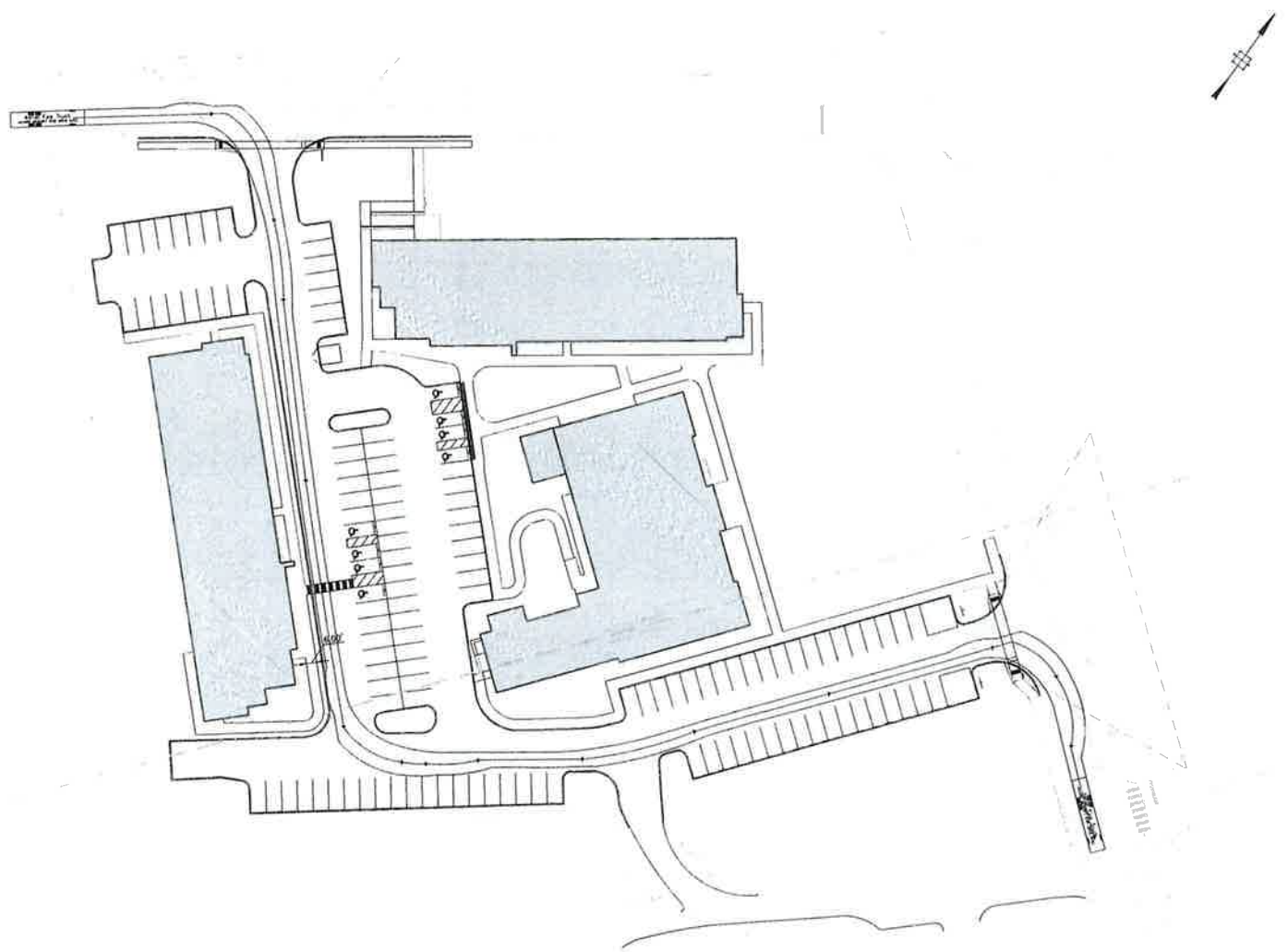
ANDWI
YOUR GOALS. OUR MISSION.

1000 MARKET STREET SUITE 800
PHILADELPHIA, PA 19103
TEL 215-249-7850
FAX 215-427-0459
www.andwi.com
OFFICES@ANDWI.COM
CALIFORNIA, INDIANA, ILLINOIS

MASSACHUSETTS DEPT. OF REGISTRATION & RECORDS	ESD-2 24 OF 29
---	--------------------------

PROJECT INFORMATION
 ELDON APARTMENTS, LLC
 10000 ELDON AVENUE, SUITE 100
 ELK GROVE, CA 95757
 916.481.1111
 10/1/2014

SPRINGFIELD, MA ASSOCIATES, INC. 10000 ELDON AVENUE, SUITE 100
 ELK GROVE, CA 95757
 916.481.1111
 10/1/2014



Aerial Fire Truck

Width	7.70
Track	22.00
Lock to Lock Time	43.00
Steering Angle	33.3



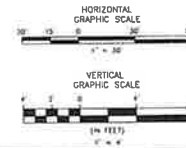
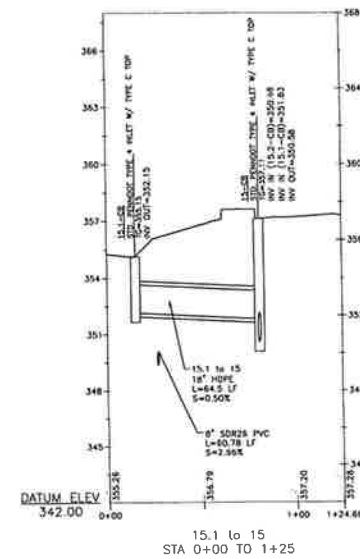
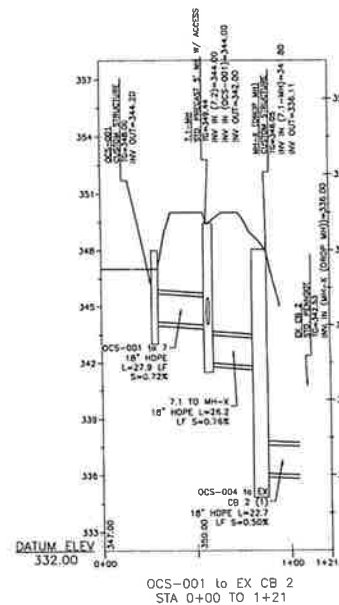
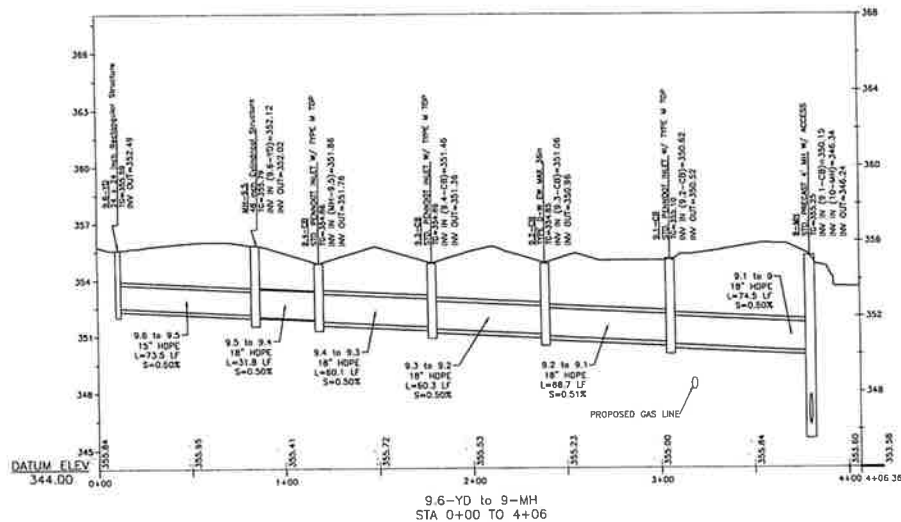
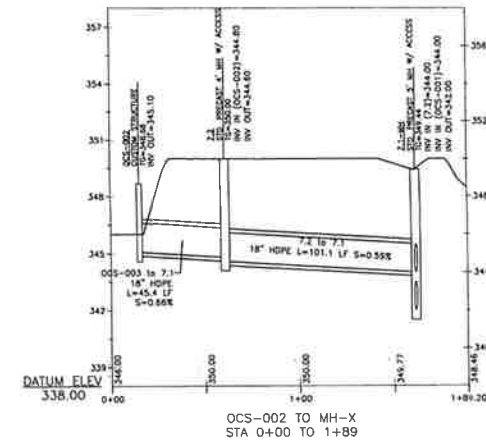
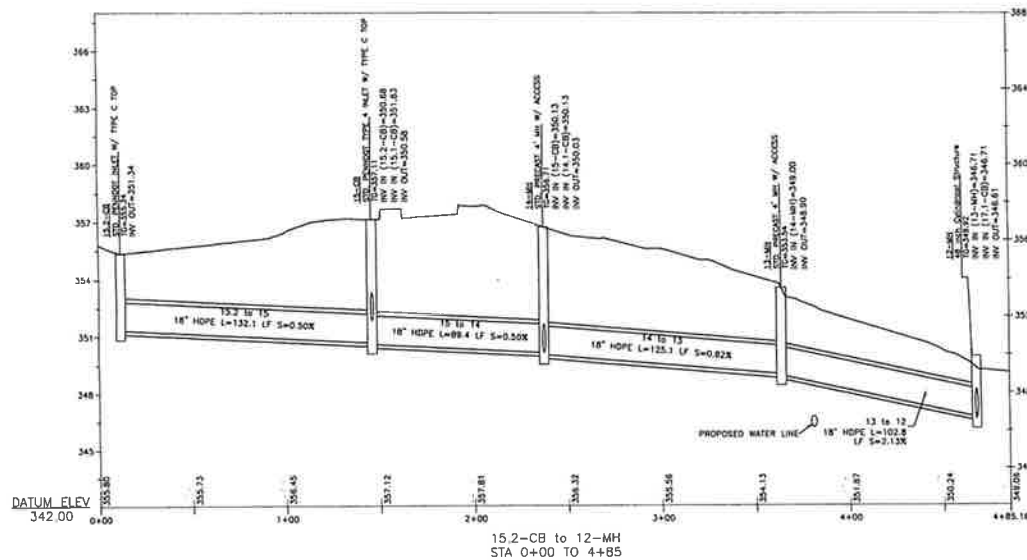
ELDON APARTMENTS, LLC
 10000 ELDON AVENUE, SUITE 100
 ELK GROVE, CA 95757
 916.481.1111
 10/1/2014

LAUDENSLAGER SENIOR APARTMENTS PHASE I
 10000 ELDON AVENUE, SUITE 100
 ELK GROVE, CA 95757
 916.481.1111
 10/1/2014

AND
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 10000 ELDON AVENUE, SUITE 100
 ELK GROVE, CA 95757
 916.481.1111
 10/1/2014

FIRE TRUCK TURNING PLAN

DESIGNED BY	DRAWING	TIT	
CHECKED BY	DATE	SHEET	
DATE	10/1/2014	26	
SCALE	AS SHOWN	OF	29



LEGEND

EXISTING GRADE
FINISHED GRADE

ELON AFFORDABLE HOUSING, LLC
2101 NEW YORK DRIVE, FORT WASHINGTON, PA 19034

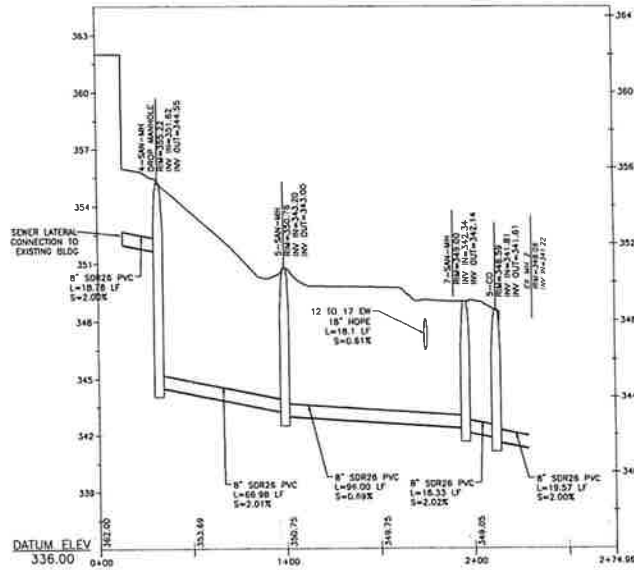


1800 MARKET STREET SUITE 800
PHILADELPHIA, PA 19102
TEL 215-261-7880
FAX 215-627-3489
www.1800marketstreet.com
OFFICES LOCATED IN
CALIFORNIA, ILLINOIS, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

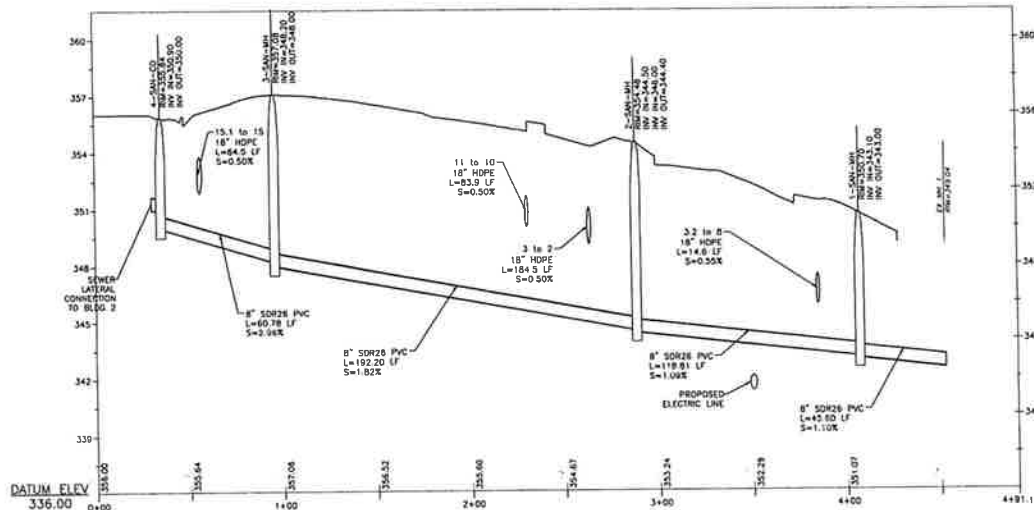
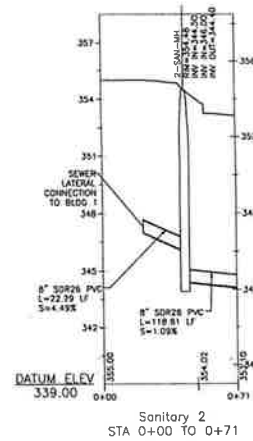
ESTIMATED BY JLL MWL TCR	ISSUANCE PRF-2
CHECKED BY JST JST	SHEET
GRAPH BY JCR	28 OF 2
DATE 06/06/2026	
SCALE AS NOTED	
PROJECT NO. S02000002	

STORM AND SANITARY PROFILES - 2

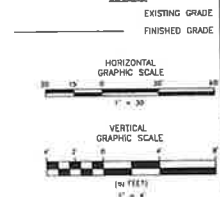
PROJECT: LAUDENSLAGER SENIOR APARTMENTS PHASE I
 LOCATION: 3014 MARKET STREET, MATTHEW, INDIANAPOLIS, IN 46204
 CLIENT: ELON AFFORDABLE HOUSING, LLC
 DESIGNER: J. J. JONES & ASSOCIATES, INC.
 DATE: 08/20/2019
 DRAWN BY: J. J. JONES
 CHECKED BY: J. J. JONES
 PROJECT NO.: 19-001



Tie in to EX MH 2
 STA 0+00 TO 2+75



LEGEND



NO.	DATE	REVISION
1	08/20/2019	ISSUED FOR PERMIT
2	08/20/2019	REVISED
3	08/20/2019	REVISED
4	08/20/2019	REVISED
5	08/20/2019	REVISED
6	08/20/2019	REVISED
7	08/20/2019	REVISED
8	08/20/2019	REVISED
9	08/20/2019	REVISED
10	08/20/2019	REVISED

ELON AFFORDABLE HOUSING, LLC
 3014 MARKET STREET, MATTHEW, INDIANAPOLIS, IN 46204
 LAUDENSLAGER SENIOR APARTMENTS PHASE I
 3014 MARKET STREET, MATTHEW, INDIANAPOLIS, IN 46204
 STORM AND SANITARY PROFILES - 3

AND
 YOUR GOALS. OUR MISSION.

1100 MARKET STREET, SUITE 800
 PHILADELPHIA, PA 19103
 TEL: 215.581.1888
 FAX: 215.581.1889
 WWW.AND.COM

DESIGNED BY: J. J. JONES
 CHECKED BY: J. J. JONES
 DRAWN BY: J. J. JONES
 DATE: 08/20/2019
 PROJECT NO.: 19-001

PRF-3
29
 OF 29

**Montgomery County
Planning Commission
Review Letter**

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

Jamila H. Winder, Chair
Neil K. Makhija, Vice Chair
Thomas DiBello, Commissioner

www.montgomerycountypa.gov



**Montgomery County
Planning Commission**

Montgomery County • PO Box 311
Norristown, PA 19404-0311

610-278-3722
planning@montgomerycountypa.gov

Scott France, AICP
Executive Director

August 11, 2026

Ms. Jaime Snyder, Borough Manager
Hatfield Borough
401 South Main Street
Hatfield, Pennsylvania 19440

Re: MCPC #26-0190-001
Plan Name: Laudenslager Senior Apartments Phase I
(114 dus/2 lots comprising 4.69 acres total)
Situate: North Main Street between Fairgrounds Road and West School Street
Hatfield Borough and Hatfield Township

Dear Ms. Snyder:

We have reviewed the above-referenced land development in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on July 10, 2026. We forward this letter as a report of our review.

BACKGROUND

The applicant, Elon Affordable Housing, LLC, has submitted a Preliminary/Final land development plan for the redevelopment of the former Biblical Theological Seminary School to an age-restricted senior multifamily residential use and the construction of two additional age-restricted senior multifamily buildings on the site. The subject tract is bisected by the municipal boundary between Hatfield Borough, with 1.46 acres comprising County Parcel ID 09000122805, and Hatfield Township, with 3.23 acres comprising County Parcel ID 350002215009. The land development plan proposes 114 rental apartment units for seniors 55+ across 3 multifamily buildings, 127 off-street vehicle parking spaces, internal access drives, sidewalks, landscaping, utilities, and stormwater management facilities. The site is served by public water and sewer. The Hatfield Borough parcel is located within the R-1 zoning district.

The land development plan proposes an age-restricted senior multifamily residential use that is not permitted in Hatfield Borough's R-1 zoning district. The developer previously received a special exception from the Zoning Hearing Board on July 13, 2022 to change the use from one nonconforming use (a seminary) to another nonconforming use (age-restricted senior multifamily residential housing). The special exception was granted with specific conditions and has since expired. Hatfield Borough's

Zoning Hearing Board is set to review the developer's request to renew and extend the zoning relief an additional year on September 24, 2026.

COMPREHENSIVE PLAN COMPLIANCE

The Montgomery County Planning Commission (MCPC) credits Hatfield Borough and Hatfield Township for working together to move forward with this affordable housing project which supports additional housing choices for qualifying individuals ages 55 and older. Our plan, *Montco 2040: A Shared Vision*, recognizes housing affordability as a significant countywide issue and encourages municipalities to expand the range of housing choices available to residents of different ages, incomes, and household types.

The proposed plan is generally consistent with the County's Plan, and, in particular, its objectives to support growth and development in appropriate areas with existing infrastructure. The proposed land development is located within a "designated growth area" per the Growth and Preservation component of the county comprehensive plan. Our Future Land Use Map categorizes the proposed development site as a "Suburban Residential Area". The plan recommends that denser and more compact development should occur in Suburban Residential Areas that are next centers with significant non-residential development, as is the case with the applicant's proposed multifamily development which is in close proximity to Hatfield Borough's Core Commercial area.

The proposed land development is also consistent with Hatfield Borough's draft 2045 Comprehensive Plan, which recommends locating larger multifamily developments near major roads and commercial areas in the "Residential Conservation" future land use category.

RECOMMENDATION

MCPC generally supports the applicant's proposal; however, in the course of our review we have identified the following issues that the applicant and Hatfield Borough may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

ZONING ORDINANCE COMPLIANCE

- A. Age-Restricted Senior Multifamily Residential Housing. Hatfield Borough's R-1 zoning district does not permit multifamily residential housing. The plan indicates that a variance has been requested to permit a multifamily use in the R-1 zoning district. As the site currently contained a previously nonconforming use, the former Biblical Theological Seminary School, in 2022 the developer requested a special exception to change from one nonconforming use (the seminary) to another nonconforming use (age-restricted senior multifamily residential housing). The special exception was granted pursuant to § 27-703.B(2) by the Zoning Hearing Board (ZHB) on June 13, 2022 with nine specific conditions. The special exception for the new nonconforming use has since expired and the applicant should clarify on the plan whether they have requested a variance to the use requirement or to renew and extend the special exception previously approved, as is my understanding from

Hatfield Borough staff that renewing and extending the special exception is set to be reviewed by the ZHB on September 24, 2026.

- B. Off-Street Parking Requirements. One of the ZHB's conditions for granting the special exception to permit a nonconforming use change in 2022 was that the parking must meet the requirements set forth in Hatfield Borough's zoning code. § 27-1002 outlines the required off-street parking capacity for each use. The applicant's proposed development could be considered a multifamily use where one parking space is required for studio apartments and two spaces are required for every unit, or a retirement community where one parking space is required per dwelling unit. Given that the proposed development is age-restricted multifamily residential housing for Seniors 55 and over, the lesser requirement of one parking space per dwelling unit would be appropriate. Senior housing tends to have one vehicle per household, as is proposed for this development.

PARKING ISSUES

- A. Vehicle Encroachment. Parking spaces adjacent to the sidewalk do not include concrete wheel stops or other measures to prevent vehicle overhang. Without such measures, parked vehicles may extend onto the sidewalk, partially obstructing it, reducing the available pedestrian clear width, and potentially affecting ADA-compliant access. The applicant should demonstrate how the required sidewalk width will be maintained free of vehicle encroachment.
- B. Parking Allocation and Designation. The plan should clearly identify and designate parking spaces intended for residents, visitors, and on-site staff or property management personnel. Differentiating these parking areas helps ensure that adequate parking remains available for each user group and reduces the potential for conflicts between residents, guests, maintenance personnel, and management staff. Designated visitor parking can improve convenience for guests and service providers while helping to prevent visitor vehicles from occupying spaces needed by residents. Similarly, reserving spaces for management and maintenance staff can support efficient site operations and ensure that personnel have reliable access to the property when responding to resident needs, performing routine maintenance, or addressing emergencies. Clearly identifying these spaces on the plan can also assist property management with parking enforcement and long-term parking management.
- C. Building Access "Proposed Building #2" / ADA Parking Spaces. The plans indicate that the accessible parking spaces are separated from the "Proposed Building #2" building entrance by an access drive. While a marked pedestrian crosswalk is proposed, additional measures should be considered to enhance visibility and pedestrian safety at the crossing location. Given that the route will be used by individuals with mobility impairments, the crossing should be clearly delineated and designed to maximize driver awareness through appropriate signage, pavement markings, and other traffic-calming measures as warranted. The applicant should demonstrate that the accessible route provides a safe, direct, and convenient connection between the accessible parking spaces and the building entrance while minimizing pedestrian-vehicle conflicts.
- D. Proposed Electric Vehicle (EV) Parking Spaces. The plan designates four proposed electric vehicle spaces and three parking spots as potential EV-convertible spaces near "Proposed Building #1." We identify two issues: how these EV-reserved spaces will function and whether EV charging infrastructure will be added in the future.

If EV charging spaces are reserved exclusively for electric vehicles, those spaces may remain vacant during periods when few EVs are present while conventional vehicles are searching for parking. This can reduce the functional efficiency of a parking lot, particularly at apartment complexes, where parking demand may be high.

The plans should clarify the intended operation and management of the proposed electric vehicle parking spaces. Specifically, the applicant should indicate whether the spaces are reserved exclusively for electric vehicles, or available for general parking if not occupied by an EV. Consideration should also be given to “EV parking” signage, enforcement, user access, and future demand to ensure that the spaces function as intended and do not create parking inefficiencies or conflicts among residents, employees, or visitors.

Although charging stations are not currently planned, the applicant should also discuss with municipal officials the possibility of installing EV charging facilities in the future. If such facilities are planned, the applicant should demonstrate that there is sufficient space and infrastructure to install charging equipment, including charger placement, electrical connections, equipment protection, and pedestrian pathways. Future charging stations should be positioned and designed to avoid conflicts with sidewalks, accessible routes, parking operations, and landscape features. Addressing these considerations early in land development can help prevent future site modifications and ensure that EV charging facilities, if added later, are integrated safely and efficiently.

- E. Parking Lot Greening. Several parking rows contain long uninterrupted runs of parking spaces without interior landscape islands. The applicant should evaluate opportunities to introduce additional planting islands throughout the parking lot, even if doing so reduces the overall parking supply. Interior landscape islands provide important aesthetic, environmental, and functional benefits by reducing the visual impact of expansive paved areas, creating locations for shade trees, mitigating heat buildup, improving stormwater management, and enhancing the pedestrian experience. Additional landscape islands would contribute to a greener parking lot design and help balance vehicular accommodation with site sustainability and overall development quality.

CIRCULATION ISSUES

- A. The use special exception granted by the ZHB in 2022 provided a condition that the site’s proposed driveway providing access to Main Street be limited to one-way access into the Subject Property or for Emergency Access Only. The proposed plan shows a two-way driveway at this location and throughout the entire site.
- B. Loading/Unloading/Delivery Functions. The plans lack designated loading/unloading areas for deliveries, service vehicles, or short-term drop-offs. It is recommended to provide adequate on-site facilities to avoid blocking access drives, parking, or pedestrian routes. Without dedicated spaces, routine activities such as package and food deliveries may occur in parking areas or along drives, causing conflicts with vehicular and pedestrian traffic. The applicant should revise plans to include clearly marked off-street loading areas that allow safe vehicle access without obstructing parking or pedestrian routes.
- C. Pedestrian Safety. The proposed stormwater detention basin includes proposed 3:1 side slopes that directly abut a sidewalk and pedestrian circulation area adjacent to “existing Building #1.”

While 3:1 slopes may be acceptable from an engineering standpoint, their proximity to a pedestrian route raises safety concerns. The relatively steep embankment may increase the risk of slips, trips, and falls, particularly during wet weather, winter conditions, maintenance activities, or when the basin temporarily conveys or stores stormwater. The applicant should consider additional safety measures, such as fencing, guardrails, a landscaped buffer, a widened separation area, or flatter side slopes adjacent to pedestrian facilities, to enhance user safety and create a more comfortable and forgiving environment.

- D. Proposed Access to Adjacent Properties. The submitted plan depicts an existing vehicular connection from the subject tract to an access driveway that traverses across adjacent properties (County Parcel ID 09-00-01630-00-8, Lands of Morasco, and County Parcel ID 09-00-01225-00-8, Lands of Pletscher). While interconnected access can improve circulation and enhance emergency access, the borough should confirm that adequate legal mechanisms are in place to ensure continued long-term use of the connection. The applicant should provide documentation demonstrating that a recorded cross-access easement exists or propose a cross-access agreement that establishes perpetual access rights and identifies maintenance responsibilities. The applicant should also evaluate whether the connection can safely accommodate anticipated traffic volumes and whether future development of either adjacent property could adversely affect the continued operation of the shared access arrangement.
- E. Highway Occupancy Permit. Because the property fronts Main Street (PA Route 463), a roadway under PennDOT jurisdiction, the applicant should contact PennDOT District 6 to determine whether a Highway Occupancy Permit, an amended permit, or other access approval is required for the proposed redevelopment and change in use. The existing driveway locations alone across the frontage of the subject tract do not necessarily exempt the project from PennDOT access permitting requirements.

OPEN SPACE ISSUES

- A. Outdoor Amenity Area. The proposed residential development does not appear to include any designated common outdoor open space, gathering areas, or resident amenities such as seating areas, courtyards, plazas, pocket parks, or similar features. Outdoor amenity areas provide opportunities for passive recreation, social interaction, and community building, while enhancing the overall livability of residential development. The absence of such spaces may limit residents' opportunities to gather, recreate, and enjoy usable outdoor areas on the site. The applicant should consider incorporating a centrally located, readily accessible amenity area designed for active and/or passive recreation, which may include features such as benches, landscaping, walking paths, lawns, plazas, or other improvements that serve future residents. This recommendation is consistent with planning best practices that encourage the use of common open spaces as focal points for community interaction and resident enjoyment.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's zoning changes, but we believe that our suggested revisions will better achieve Hatfield Borough's planning objectives.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (26-0190-001) on any plans submitted for final recording.

Sincerely,



Adam Schantz, Community Planner

c: Elon Affordable Housing, LLC, Applicant
T & M Associates, Applicant's Engineer
Katie Vlahos, Assistant to the Manager, Hatfield Borough
Ryan Giatto, Code Enforcement Officer, Hatfield Borough
Scott Hutt, Assistant Township Manager, Hatfield Township
Eric Jarrell, MCPC Community Planning Manager

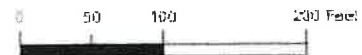
Attachments: A. Aerial of Site
B. Reduced Copy of Applicant's Plan



Laudenslager Senior Apartments
MCPC#260190001

Montgomery
County
Planning
Commission

Montgomery County Council - Planning Commission
100 West 11th Street, Suite 1000
Baltimore, MD 21201
www.montgomeryplanning.com
montgomeryplanning@montgomeryplanning.com





Engineers Review Letter

August 11, 2026

Jaime E. Snyder
Borough Manager
Hatfield Borough
401 South Main Street
Hatfield PA 19440

RE: **Laudenslager Senior Apartments (200 N. Main St.)**
Land Development Review Letter 1
Bursich Project No: HAT-01 / 268517

Dear Jaime:

As requested, Van Cleef Engineering has reviewed the Preliminary / Final Land Development Plan submission for the Laudenslager Senior Apartments project. The submission consisted of the following information:

- Plans titled Preliminary / Final Land Development Plans – Laudenslager Senior Apartments Phase 1, consisting of sheets 1 through 29 of 29, dated 06/05/2026 with no revision date, prepared by T and M Associates;
- Stormwater Management Report – Laudenslager Senior Apartments, dated May 22, 2026 with no revision date, prepared by T and M Associates;
- Erosion and Sediment Control Narrative - Laudenslager Senior Apartments, dated May 22, 2026 with no revision date, prepared by T and M Associates;
- Transportation Impact Assessment – 200 N Main Street, dated March 27, 2026 with no revision date, prepared by Traffic Planning & Design (TPD)

The site consists of one 4.7-gross-acre tract bisected by the Hatfield Borough and Hatfield Township municipal line, and is located in the Borough's R-1 Residential District. The County has assigned two tax parcels: a 1.5-acre parcel in Hatfield Borough, and a 3.2-acre parcel in Hatfield Township. The property contains an existing two-story former school building, two-story dwelling, and one-story building, all abandoned. Access to the site is through a horseshoe-shaped driveway off N. Main Street (Cowpath Rd.), a separate driveway off N. Main Street that also serves adjoining residential properties, and a third driveway off Fairgrounds Rd.

The plan proposes to demolish the two smaller buildings and parking lots, convert the previous school building into age-restricted apartments, and construct two new age-restricted apartment buildings for a total of 114 new units. The majority of the existing former school building, and the entirety of the two new buildings, are located in Hatfield Township, with a small portion of the former school building, parking lots, and access driveways located within the Borough.

F:\Projects\HAT-01\B268517.00_200 N. Main St. Apartments (Laudenslager)\Reviews\2026-08-11_200 N. Main St. (Laudenslager)-LD Rvw 1.docx

OFFICE LOCATIONS

www.vancleefengineering.com

Hillsborough, NJ
908-359-8291

Hamilton, NJ
609-689-1100

Mt. Arlington, NJ
862-284-1100

Toms River, NJ
732-573-0490

Phillipsburg, NJ
908-454-3080

Freehold, NJ
732-303-8700

Doylestown, PA
215-345-1876

Bethlehem, PA
610-332-1772

Pottstown, PA
610-323-4040

We offer the following for your consideration:

VARIANCES PREVIOUSLY GRANTED (NOW EXPIRED)

At a Hearing on July 13, 2022, the Hatfield Borough Zoning Hearing Board granted a Special Exception from the Borough's Zoning Ordinance to allow the property to be used as an age-restricted retirement community campus consisting of 123 age-restricted apartments in three buildings. The relief was granted subject to nine conditions.

The Zoning Hearing Board subsequently granted an extension of time - to have until August 10, 2025 to obtain the necessary permits and begin work. The time extension has since expired, and the proposed age-restricted apartments are not a permitted use on the property. On July 16, 2026 the applicant submitted a request to renew the previously granted zoning relief. To date, a renewal has not been granted.

WAIVERS REQUESTED

No waivers have been requested from the Hatfield Borough Subdivision and Land Development Ordinance.

ZONING ORDINANCE COMMENTS

1. At present, the proposed apartment development is not a permitted use of the property.
2. If the Zoning Order is renewed, the following items must be revised to comply with the conditions:
 - A. The Applicant shall, if possible, continue to utilize only the electric services provided by Hatfield Borough to service the entire new facility located on the Subject Property.
 - B. The Applicant shall, if possible, continue to utilize only the sanitary sewer services provided by Hatfield Borough to service the entire new facility located on the Subject Property.
2. §27-1002.3 – Since the site will be used as an age-restricted elderly community, the parking calculations table on sheet 5 shall be revised to reflect that the Borough requires 1 parking space per unit, rather than 2 spaces.
3. The Zoning date table on sheet 5 shall be revised based on the required Ultimate Right-of-Way width (25-foot half-width) of N. Main St. All area and dimensional information shall be revised accordingly.

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

1. §22-305 & §22-307 – The plans shall be revised to include or clarify the following information:
 - A. The Site Statistics on sheet 5 indicate the site is comprised of two lots. The plan shall clarify that the site is comprised of a single-deeded tract split into two tax parcels at the municipal boundary. While information is provided for Lot 1 and Lot 2, two lots are not labeled on the plans.
 - B. The number of units in each building shall be added to the plans.
 - C. The metes and bounds of the parcel boundaries shall be illustrated more clearly.
 - D. The Sheet List Table on sheet 1 shall indicate which plans are to be recorded.
 - E. Street names shall be added to the Vicinity Map on sheet 1.
 - F. The Variances Requested note on sheet 2 and Variance Previously Granted on 2022-07-13 note on sheet 5 shall be updated based on the outcome of the request to renew the expired zoning relief. All conditions of the Zoning Order shall be included.
 - G. Complete legends shall be added to the plans, and the linetypes must be distinct to distinguish the different features.
 - H. The plans shall indicate the zoning district on all abutting properties. Sheet 1 shall also be revised to include the Borough's information in the Site & Adjacent Zoning Districts table.
 - I. The plans shall be updated to label the sanitary sewer inverts, pipe material, sizes, slopes, and direction of flow. The sanitary infrastructure in N. Main Street (within Hatfield Borough) was replaced in 2025 and may need to be re-surveyed to provide accurate as-built information.
 - J. Dimensions shall be provided for the backup / turnaround area at the end of the parking row; the distances between parking areas, buildings, and property lines; and the radii for all curves.
 - K. The driveway to the south of Building #1, between the parking lots, appears to be less than 24 feet wide. The aisle in the 37-space lot is labeled as 24', and the 20-space lot is labeled as 24.45'. The aisle and driveway widths and transitions shall be clarified on the plans.
 - L. A note shall be added to the Record Plan stating that detailed designs of all ADA ramps shall be provided for approval prior to grading permits being issued, and As-built plans shall be submitted and approved prior to Occupancy Permits being issued.
 - M. A note shall be added to the record plan indicating that the development is for an age-restricted retirement community.
 - N. Stop bars shall be provided where the 47-space parking lot meets the 20-space lot and where the service drive meets the parking driveway south of Building #1.
 - O. Existing features within 200 feet of the site are required to be included on the plans. Of particular importance are residential properties to the south of the property and topographic features along the western property line. An aerial image may be appropriate, although some features may need to be surveyed.
 - P. The building heights, number of stories, and number of units in each building shall be added to the plans.

- Q. The Required, Existing, and Proposed areas in the Zoning Data table shall include the square-footages in addition to the percentages. Additionally, the asterisk indicating the proposed 57.83 ft side yard as non-conforming shall be clarified.
- R. The locations of electric and gas utilities for Building #31 shall be added to the plans.
2. §22-404 – Main Street is classified as a Primary Street with an Ultimate Right-of-Way of 50 feet (25-foot half-width), 12-foot wide travel lanes, and 8-foot-wide parallel parking spaces (where applicable). The geometric centerline of N. Main Street shall be added, and the plans shall be revised to reflect the required widths.
 3. §22-410.D – The clear sight triangle shall be revised to meet the 125-foot requirement for Primary streets in all directions, including along the driveway, unless a waiver is granted.
 4. §22-410.E – Within the area of clear sight triangles, obstructions to visibility shall not be permitted. *We would support a partial waiver to allow certain landscaping to be permitted within the 125-foot sight triangle as long as required safe sight distances are provided and maintained.*
 5. §22-412.A – Required and provided safe sight distance shall be added to the plans.
 6. §22-412.E.(2) – A dimension shall be added to the plans to confirm the centerline of the new driveway is at least 100 feet from the centerline of E. School Street.
 7. §22-413 – We recommend a designated handicap-accessible walking path be added between Proposed Building #2 and the sidewalk south of Existing Building #1 to provide safe access to Main Street.
 8. §22-413.J – The plans shall be revised to illustrate the crosswalk across the proposed driveway at N. Main Street to match the Borough's standard striping pattern.
 9. §22-414.B(2) – Parking areas shall not be located closer than 20 feet from any tract boundary line. These setback areas shall be landscaped in accordance with the requirements of §22-420, General Planting Requirements. Parking area setback lines and dimensions shall be added to the plans. *The southern parking lot, access driveway, and turn-around area at the southwestern corner of the property do not comply.*
 10. §22-414.B(4) – No more than 18 parking spaces may be located in an uninterrupted row. The two parking lots located within the Borough include 20-space rows.
 11. §22-419.3 – The locations of all utilities for the 1-Story Building to be removed shall be shown on the plans. The sewer lateral abandonment location and method shall be illustrated and noted.
 12. §22-420 – The species and locations of landscaping will be reviewed with subsequent submissions.

13. §22-420.D.(2) – A 100 percent performance bond shall be posted to ensure replacement of landscape material that is removed, destroyed, damaged, or in ill-health within 15 months of installation.
14. §22-426 – The Applicant shall present evidence that water will be supplied by a certified public utility.
15. §22-427 – The Applicant shall present evidence that sewer service will be supplied by a certified public utility.
16. §22-428 – Compliance with Engineering & Construction Standards:
 - A. The Sidewalk – Concrete detail shall be revised to specify 4,000 psi concrete. Additionally, the detail labels 4' to 5' wide sidewalks, while the plans show 6' wide internal site sidewalks.
 - B. The Sidewalk – Concrete detail specifies 3,000 psi concrete for curbs, while the Curb – Concrete detail specifies 4,500 psi concrete. All concrete within the public right-of-way must be a minimum of 4,000 psi, and the specifications for the internal site concrete shall be consistent across the details.
 - C. The Paving section details shall indicate 5" of 25 mm base course and 1.5" of 9.5 mm wearing course, or match existing, for the roadway within Hatfield Borough. The Access Drive Pavement Match Detail shall also be revised accordingly.
 - D. §108.3.A – A letter of endorsement shall be required from the suppliers of utility services wherein the applicant acknowledges that underground utilities are feasible.
 - E. §112.1. – Concrete monuments shall be installed along the right-of-way lines where they meet adjoining properties. Property corner pins shall be installed. The pins and monuments shall be shown on the Record Plan. Existing monumentation shall be labeled as Found & Held where applicable.
17. §22-502 – A construction cost estimate shall be provided prior to final plan approval for determining appropriate financial security.

STORMWATER COMMENTS

1. §26-132.2.B(3)(i) – The following signature block for the Design Engineer shall be added: "I, (Design Engineer), on this date (date of signature), hereby certify that the SWM Site Plan meets all design standards and criteria of The Neshaminy Creek Watershed Act 167 Stormwater Management Ordinance or Plan."
2. §26-164 – A Stormwater Operation and Maintenance Agreement must be provided to the Borough Solicitor's satisfaction. *While the majority of the stormwater management facilities are located within Hatfield Borough, the lack of proper maintenance could impact the Borough.*

3. The storm sewer design calculations must be provided, and shall consider the 100-year tailwater elevation in the downstream storm basin.
4. A minimum of two feet of cover shall be provided over storm pipes in roadway, driveway, and parking lot areas. The pipe from structures 17-CB to 17.1-CB does not have the required cover.
5. The Existing Drainage Areas plan in the design report must show the existing site cover conditions in order to review the calculations.
6. Time of concentration calculations and flow paths must be provided for the pre-development condition.
7. The Project Description in the Stormwater Report shall be revised to correct the site information.
8. The locations of the roofdrains / downspouts shall be added to the Drainage Plan.

EROSION AND SEDIMENTATION CONTROL COMMENTS

While the MCCD will review and approve the E&S control plans, we offer the following general comments related to the plans:

1. It is our understanding that full build-out of the site may take many years to complete. As a general comment, we are concerned with the conditions of the site throughout construction and how the site will be maintained, both during construction and in the interim between phases of build-out. The plans and sequence must clearly describe and illustrate how the site is to be kept from the time E&S controls are installed through the completion of all construction.
2. The sizes and locations of the proposed silt socks must be shown more clearly on the plans.
3. Construction fencing shall be added along the limits of disturbance.
4. The building labels shall be added to the E&S Control Plan.
5. Construction Sequence Comments:
 - A. Must clearly indicate the limit of work associated with each step and must be coordinated with the plan.
 - B. Step 1 relates to construction for Building 1. The plans must clearly show the limit of disturbance for this stage of work.
 - C. Step 2 calls for installing the Rock Construction Entrance but does not clarify which one, or if both are to be installed.
 - D. Step 8 indicates that construction of all other site features may begin, but the E&S controls have not been installed for the entire site by this step.
 - E. The majority of the site construction appears to be missing from the sequence.

6. All lines and symbols representing E&S controls must match the Legend.
7. The plans shall clarify the state of the E&S controls during each phase of construction.

SANITARY SEWER COMMENTS

1. The number of units in each building contributing flow to the Hatfield Borough sewer system shall be clarified on the plans for an evaluation of EDUs.
2. The Borough's standard sewer details will be provided to the design engineer for inclusions in future submissions.
3. PaDEP Sewage Facilities Planning shall be addressed.

GENERAL COMMENTS

1. A Phasing Plan shall be provided illustrating how the property will be improved at the end of each phase. Additionally, notes shall be added indicating the anticipated timeline of construction for each phase.
2. A note shall be added to the Record Plan indicating that N. Main Street was paved in August 2025 and is subject to a five-year moratorium on any construction within the pavement. The moratorium will expire in September 2030.
3. A detail shall be added to the plans for the proposed opaque fence along the southern property line bordering the residential properties.
4. A note shall be added to the Record Plan offering the areas within the Ultimate Right-of-Ways of the streets to be dedicated to the agency having jurisdiction.
5. Sheet 5 shall be renamed as Site Plan to match the Sheet List Table.
6. The plans shall clarify the intended use of the access connection from the existing shared driveway and if it will be a one-way and restricted / gated access. Dimensions shall be added.
7. The building numbers shall be included on all plans. Additional proposed grading shall be added between Building #2 and the parking lot to provide positive drainage away from the building.
8. The existing wood curb at the southwest corner of the property shall be evaluated to confirm the proposed 3:1 cut slope at its base won't impact its structural integrity. There also appears to be an existing storage building very close to the property line.

9. There appears to be an existing connection and access to storage buildings on the School District property at the southwest corner of the property, near the baseball fields. The applicant should confirm if any formal agreements exist to allow / require access rights to the school district property.
10. The plans appear to include a second handicapped-accessible walkway to Existing Building #1. The applicant should consider if handicapped parking spaces should be added adjacent to the walkway.
11. Required reviews, approvals, permits include, but are not limited to, the following:
 - A. Borough Traffic Engineer
 - B. Borough Fire Marshal
 - C. Borough Electric Consultant
 - D. Emergency Service providers
 - E. NPWA – for service adequacy and design approval
 - F. Montgomery County Planning Commission
 - G. HTMA – for sewage treatment capacity
 - H. Hatfield Township
 - I. PaDEP Sewage Facilities Planning
 - J. PaDEP NPDES Permit
 - K. MCCD E&S Control Approval
12. Additional comments may be generated from subsequent submissions as a result of the plan and design revisions and additional information to be provided.

The comments are made with the understanding that all existing features and topography are accurately represented on the plans, and that all designs, calculations and surveys are accurate and have been prepared in accordance with current laws, regulations, and currently accepted Professional Land Surveying and Engineering practices.

Should you have any questions or need further information, please feel free to contact me at [REDACTED]
[REDACTED]

Very Truly Yours,
Van Cleef Engineering Associates, LLC



Chad E. Camburn, P.E.
Professional Engineer

Pc: Katie Vlahos, Assistant to the Borough Manager *(via email)*
Kate Harper, Borough Solicitor *(via email)*
Ryan Giatto, Hatfield Borough Zoning Officer *(via email)*
Laudenslager Campus Benefit LLC., Applicant *(via email)*; [REDACTED]
Jacob Tackett, P.E., T&M Associates, Applicant's Engineer *(via email)*; [REDACTED]

Scott Hutt, Hatfield Township Assistant Manager *(via email)*
Bryan McAdam, Hatfield Township Engineer *(via email)*

**3. Land Development
Presentation: 200 N. Main
Street, Laudenslager Senior
Apartments**

ACTION ITEM

**A. Motion to Consider
Preliminary / Final Approval
for 200 N. Main Street,
Laudenslager Senior
Apartments**

4. Old Business:

A. Bennetts Court Update

4.Old Business:

B. 43 Roosevelt Update

4.Old Business:

C. Hatfield Walk (23 N. Main Street) Update

5. New Business:

**6. Next Meeting Monday,
September 28, 2026,
6:00PM**

7. Motion to Adjourn